




# ROSEMEAD CITY COUNCIL STAFF REPORT

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TO: THE HONORABLE MAYOR AND CITY COUNCIL

FROM: BEN KIM, CITY MANAGER 

DATE: OCTOBER 8, 2024

SUBJECT: PUBLIC HEARING ON PLANNED DEVELOPMENT 23-01 - 7600  
GRAVES AVENUE

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## SUMMARY

Maryvale has submitted a Planned Development application to legalize and intensify land uses consisting of transitional and supportive housing, mental health services, administrative services, early education, daycare, religious and institutional uses, and open space and recreational uses to be offered at 7600 Graves Avenue, thereby changing the permissible uses of the site. The project's scope of work entails tenant improvements to both the ground floor and second floor of Laboure Hall to adapt its previous use as an orphanage to transitional and supportive housing. Tenant improvements include the reconfiguration of existing kitchen spaces and conversion of dormitory-style suites with communal bathrooms to individual family suites with private bathrooms. No physical expansion of the existing buildings on-site is proposed as a part of the Planned Development application. The site consists of one parcel (APN: 5285-016-020) that encompasses a total lot area of 594,594 square feet (13.65 acres) and is located at 7600 Graves Avenue in the Planned Development (P-D) zone.

## ENVIRONMENTAL ANALYSIS

The California Environmental Quality Act (CEQA) Guidelines outline a list of classes of projects that are deemed to have minimal environmental impact and thus are categorically exempt from the full environmental review process required by CEQA. Among the categorical exemptions is Class 1 Categorical Exemption, which covers projects that involves "the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use" (California Code of Regulations, Title 14, Section 15301). Projects falling under Class 1 Categorical Exemption are detailed in CEQA Guidelines Section 15301(a)-(p). P-D 23-01 qualifies as a categorical exemption, as it aligns with CEQA Guidelines Section 15301(a), which includes "interior or exterior alterations involving such things as interior partitions, plumbing, and electrical conveyances." Accordingly, P-D 23-01 is classified as a Class 1 Categorical Exemption pursuant to Section 15301 of the CEQA Guidelines.

## **DISCUSSION**

On September 16, 2024, the Planning Commission held a duly noticed and advertised public hearing to gather both oral and written testimony relative to Planned Development 23-01. The analysis of the project can be found in the Planning Commission Staff Report. The Planning Commission Staff Report, Draft Planning Commission Meeting Minutes, and Planning Commission Resolution 24-09 are included in this report as Attachments "B", "C", and "D", respectively.

During the meeting, the Planning Commission raised questions about public safety and security at the Maryvale campus, particularly the presence of security personnel on campus. The applicant confirmed that staff are present during business hours and that one security guard is on duty after hours, including nights, weekends, and holidays. They also reported no drug-related incidents over the past year. The City's Sheriff's Team, through Sergeant Perez, affirmed that Temple Station has not received any concerning calls related to the Maryvale campus or its immediate surrounding areas during his three years of service. Regarding Maryvale's policies for monitoring substance abuse, the applicant explained that their policies strictly prohibit any substance use on campus, addressing individuals showing signs of intoxication on a case-by-case basis, with random drug testing conducted if suspicions arise.

The Planning Commission sought clarification on the occupant load of Laboure Hall and how the addition of 20 units fits within Laboure Hall's occupant load of 374. The applicant explained that the occupant load represents the maximum number of people the building can accommodate at any given time, not how many will be residents. The new units are specifically designed for single mothers with up to two children in the Seton House program, and staff members are included in the occupancy calculations. A copy of their project description and architectural plans are attached in Attachments "F" and "G".

The Planning Commission inquired about transportation and curfew for participants in the Seton House and Hope Housing for Students programs. The applicant responded that participants receive free tap cards for public transit and have a curfew from Sunday through Thursday from 10:00 p.m. to 6:00 a.m. The applicant as well as some former and current residents stated curfew is strictly enforced. Most mothers in the Seton House program have their own transportation, but Maryvale assists those without it by connecting them to public transportation and offering Uber or Lyft in certain cases. The Planning Commission then inquired about parking capacity on the Maryvale campus, to which the applicant confirmed there are ample parking at approximately 167 parking spaces.

The Planning Commission asked how often program changes are anticipated. The applicant indicated that while no immediate changes are foreseen, the application is intended to allow for future flexibility to meet evolving needs and to allow for the ability to apply for funding to meet those new program demands.

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### **PUBLIC HEARING TESTIMONY**

The City received 33 letters and emails of support for the project from various organizations and members of the public. The written public comments can be found in Attachment "E".

During the public testimony, 11 members of the public expressed their support for the project. Speakers included mothers from the Seton House program, students from the Hope Housing for Students program, staff from Maryvale and Hope Housing for Students, and representatives from organizations like the San Gabriel Valley Consortium on Homelessness and Guadalupe Pregnancy Services. Relatedly, four residents living near Maryvale raised concerns of security issues and increased crime in the area, as well as comments that they did not want a homeless shelter at the property.

On September 18, 2024, the applicant informed staff that that they are in contact with the concerned residents and are organizing campus tours and a community meeting to address any lingering concerns from residents who were unable to attend previous open houses. On September 25, 2024, the applicant confirmed that the community meeting and open house will be held on October 2, 2024, from 5:00 p.m. to 7:30 p.m.

### **PLANNING COMMISSION ACTION**

After hearing all public testimony, the Planning Commission discussed the application further. Commissioner Tang recommended tabling the item to allow Maryvale additional time for community outreach with the concerned residents. However, the other four Commissioners felt the testimonies received were sufficient to proceed with a vote. As a result, the Planning Commission voted 4-0-1, with Commissioner Tang abstaining, and recommended that the City Council approve the Planned Development application. The Planning Commission adopted Planning Commission Resolution 24-09, recommending that the City Council adopt Resolution No. 2024-48 to approve Planned Development 23-01.

### **STAFF RECOMMENDATION**

That the City Council:

1. Conduct a public hearing and receive public testimony; and
2. Adopt City Council Resolution No. 2024-48 (Attachment "A") for the approval of Planned Development 23-01, subject to 63 conditions.

### **FISCAL IMPACT**

None.

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### **STRATEGIC PLAN IMPACT**

Planned Development 23-01 aligns with the vision outlined in the City's 2030 Strategic Plan: Rosemead is a safe, welcoming, connected, and active city, a destination with thriving local businesses, well-maintained parks and infrastructure, and quality programming and services which support the entire community. The project meets the following goals of the 2030 Strategic Plan:

- Goal A: Safety
  - Rosemead will enhance public safety in our City by providing safe access to public facilities, expand neighborhood safety programs, and improve quality of life, which will include assisting homeless residents in our community.
- Goal B: Responsive, Inclusive City
  - Rosemead will continue to provide quality services that are inclusive and responsive to meet the changing needs of our diverse community.
- Goal H: Land Use and Zoning:
  - Rosemead will continue to create policies that encourage new development, respond to the changing housing needs of residents, promote activation along our major corridors, and support the local business community.

### **PUBLIC NOTICE PROCESS**

This item has been noticed through the regular agenda notification process, which includes a 300-foot radius public hearing notice to 125 property owners, publication in the Rosemead Reader, and posting of the notice at the six public locations and subject site on September 26, 2024.

Prepared by:



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Lina Do, Assistant Planner

Submitted by:



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Lily Valenzuela, Director of Community Development

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- Attachment A: Resolution No. 2024-48 with Exhibit "A" (Conditions of Approval)
  - Attachment B: Planning Commission Staff Report, dated September 16, 2024
  - Attachment C: Planning Commission Meeting Minutes, dated September 16, 2024 (draft)
  - Attachment D: Planning Commission Resolution No. 24-09
  - Attachment E: Written Public Comments
  - Attachment F: Project Description, dated June 14, 2024
  - Attachment G: Architectural Plans
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## Attachment A

Resolution No. 2024-48

**RESOLUTION NO. 2024-48**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROSEMEAD, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, ADOPTING PLANNED DEVELOPMENT 23-01 FOR THE LEGALIZATION AND INTENSIFICATION OF LAND USES CONSISTING OF TRANSITIONAL AND SUPPORTIVE HOUSING, MENTAL HEALTH SERVICES, ADMINISTRATIVE SERVICES, EARLY EDUCATION, DAYCARE, RELIGIOUS AND INSTITUTIONAL USES, AND OPEN SPACE AND RECREATIONAL USES IN CONJUNCTION WITH THE RENOVATION OF LABOURE HALL FOR TRANSITIONAL AND SUPPORTIVE HOUSING. THE SUBJECT SITE IS LOCATED AT 7600 GRAVES AVENUE (APN: 5285-016-020) IN THE PLANNED DEVELOPMENT (P-D) ZONE**

**WHEREAS**, on July 17, 2023, Maryvale submitted a Planned Development application, requesting approval for the legalization and intensification of land uses consisting of transitional and supportive housing, mental health services, administrative services, early education, daycare, religious and institutional uses, and open space and recreational uses in conjunction with the renovation of Laboure Hall for transitional and supportive housing located at 7600 Graves Avenue; and

**WHEREAS**, 7600 Graves Avenue is within the Planned Development zone; and

**WHEREAS**, Rosemead Municipal Code Sections 17.24.040 and 17.152.060(B) provide the criteria for a Planned Development; and

**WHEREAS**, Sections 65800 and 65900 of the California Government Code and Rosemead Municipal Code Sections 17.152.040 and 17.152.050 authorize the Planning Commission to forward a written recommendation, and reasons for the recommendation, to the City Council whether to approve, approve in modified form, or deny the proposed amendment. Upon receipt of the Planning Commission's recommendation to approve, or approve in modified form, the proposed amendment, the City Council shall conduct a public hearing and either approve, approve in modified form, or deny the proposed amendment based on the findings; and

**WHEREAS**, on September 16, 2024, the Planning Commission held a duly noticed and advertised public hearing to receive oral and written testimony relative and recommended that the City Council approve Planned Development 23-01; and

**WHEREAS**, on September 26, 2024, 125 notices were sent to property owners within a 300-foot radius from the subject property, the notice was published in the Rosemead Reader, and the notice was posted at six public locations and on-site, specifying the availability of the application along with the date, time, and location of the public hearing for Planned Development 23-01 pursuant to California Government Code Section 65091(a)(3); and

**WHEREAS**, the City Council held a duly noticed public hearing on October 8, 2024, to consider Planned Development 23-01; and

**WHEREAS**, the City Council, having final approval authority over this project, has reviewed and considered all comments received during the public review period prior to the approval of this project.

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF ROSEMEAD HEREBY FINDS, DECLARES, AND RECOMMENDS AS FOLLOWS:**

**SECTION 1.** The City Council hereby determines that Planned Development 23-01 is classified as a Class 1 Categorical Exemption pursuant to Section 15301 of the California Environmental Quality Act Guidelines. Section 15301 of the California Environmental Quality Act Guidelines exempts projects that encompass “interior or exterior alterations involving such things as interior partitions, plumbing, and electrical conveyances.”

**SECTION 2.** The City Council hereby finds and determines that facts do exist to justify approving Planned Development 23-01 in accordance with Rosemead Municipal Code Sections 17.24.040 and 17.152.060(B) as follows:

**FINDING 1:** The proposed amendment is consistent with the General Plan and any applicable specific plan.

**FACTS:** The subject site is designated Public Facilities in the General Plan and Planned Development on the Zoning Map. As defined in the General Plan, the Public Facilities designation applies to “those land uses that are operated and maintained for public benefit. Public facilities include educational facilities, parks, utilities, and buildings or areas that support government activities. This land use category also includes quasi-public uses such as private utilities easements, private schools, and institutional activities.” Correspondingly, Maryvale’s longstanding presence since 1953 prior to the City’s incorporation in 1959 and its historical role as an educational facility and facility that supports governmental and institutional activities align with its Public Facilities designation. Moreover, according to the “General Plan and Zoning Ordinance Consistency” table in the General Plan, the P-D zone is a corresponding zone district to residential land use designations: Low Density Residential, Medium Density Residential, and High Density Residential. Residential uses are permitted in the P-D zone with the approval of the City Council. As such, the proposed amendment, particularly the legalization and intensification of transitional and supportive housing, is consistent with the General Plan.

**FINDING 2:** The proposed amendment will not be detrimental to the public interest, health, safety, convenience, or welfare of the City.

**FACTS:** Planned Development 23-01 does not adversely affect the adjoining land uses of the area in which the subject site is within, given the established presence of Maryvale since 1953 prior to the City’s incorporation. Although unpermitted, the Seton House program and Hope Housing for Students program have provided temporary housing to mothers and their children since 2022 and female college students attending East Los Angeles College since 2021,



respectively. As such, the proposed uses are in a similar manner as Maryvale's current uses. Furthermore, the support services offered by both programs are confined to program participants and do not extend beyond said participants. Moreover, the proposed scope of work to increase the occupancy of the Seton House program is low in impact. The intensification of the program only consists of capital improvements to Laboure Hall, an existing and vacant building. Laboure Hall is of sufficient size to accommodate the full development of the program without any physical expansion. Similarly, the religious and institutional uses, though also unpermitted, have been in operation for more than a decade. Legalizing the religious and institutional uses maintains a sense of continuity for both residents and visitors. The use is also expected to have minimal impacts, as public worship services are no longer held.

The existing land uses of mental health services and early education at Maryvale are also unpermitted but serve as resources that positively affect the overall well-being of the community. By offering mental health services in the community, residents have easier access to professional assistance. Mental health services directly and indirectly mitigate crime and substance abuse and, in turn, enhance public safety and welfare. Relatedly, early education positively provides children with cognitive, social, and emotional stimulation during their formative years.

Planning staff have worked with the Chief of Police to incorporate conditions of approval that consider the health, safety, and welfare of the City. This includes conditions pertaining to consistent referral processes for all referrals, including self-referrals, noise limitations, occupancy regulations, and drug-free policies. Specifically, Maryvale stresses their commitment to maintaining a drug- and alcohol-free campus for all programs held on the premises per their drug-free policy. To uphold their commitment, Maryvale prohibits the use, sale, purchase, possession, or distribution of any drugs or controlled substances by all staff, residents, and visitors. Maryvale enforces a zero-tolerance policy, addressing any violations or convictions promptly. Disciplinary actions may include removal from the premises and, if necessary, involvement of law enforcement.

Moreover, Planned Development 23-01 is deemed to have minimal environmental impact and thus is categorically exempt from the full environmental review process required by the California Environmental Quality Act (CEQA). The project is classified as a Class 1 Categorical Exemption pursuant to Section 15301 of the CEQA Guidelines, as it involves "interior or exterior alterations involving such things as interior partitions, plumbing, and electrical conveyances." Accordingly, under the conditions imposed, the proposed amendment is not detrimental to the public interest, health, safety, convenience, or welfare of the City.

**FINDING 3:** The affected site is physically suitable in terms of design, location, operating characteristics, shape, size, topography, and the provision of public and emergency vehicle access, and public services and utilities and is served by highways and streets adequate in width and improvement to carry the kind and quantity of traffic the proposed use would likely generate, to ensure that the proposed use(s) and/or development will not endanger, jeopardize, or otherwise constitute a hazard to the property or improvements in the vicinity in which the property is located.

**FACTS:** Traffic generated by Planned Development 23-01 does not impose an undue burden upon the highways and streets in the area, as all participants of the proposed use of transitional and supportive housing under the Seton House program and Hope Housing for

Students program will reside on campus. Similarly, the proposed use of mental health services has been in existence at Maryvale and has not presented any notable problems concerning traffic. Services are available daily from 8:00 a.m. to 10:00 p.m. on campus, but most consultations occur off campus at clients' homes or online, alleviating on-campus traffic congestion. While religious and institutional uses may occasionally attract higher volumes of vehicles for events, such as funerals, blood drives, and fundraisers, a condition of approval has been added to ensure that the Applicant obtain all necessary permits, including Temporary Use Permits and Special Event Permits, as specified in Rosemead Municipal Code Chapter 17.124. The existing number of off-street parking spaces at Maryvale is proposed to remain unchanged.

The Public Works Department has reviewed the scope of work and found no significant concerns with the proposed scope of work. Conditions of approval have been incorporated to address street infrastructure, including the removal and replacement of off-grade curb and gutter and the fill and redirection of existing weep holes within the block wall along Graves Avenue.

**SECTION 3.** The City Clerk shall certify to the adoption of this resolution and hereafter the same shall be in full force and effect.

**PASSED, APPROVED AND ADOPTED** this 8<sup>th</sup> day of October, 2023.

\_\_\_\_\_  
Steven Ly, Mayor

APPROVED AS TO FORM:

ATTEST:

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Rachel H. Richman, City Attorney

\_\_\_\_\_  
Ericka Hernandez, City Clerk

Exhibit:

A. Conditions of Approval

STATE OF CALIFORNIA     )  
COUNTY OF LOS ANGELES ) §  
CITY OF ROSEMEAD     )

I, Ericka Hernandez, City Clerk of the City Council of the City of Rosemead, California, do hereby certify that the foregoing City Council Resolution No. 2023-02 was duly adopted by the City Council of the City of Rosemead, California, at a regular meeting thereof held on the 8<sup>th</sup> day of October, 2024, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

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Ericka Hernandez, City Clerk

**EXHIBIT "A"**

**PLANNED DEVELOPMENT 23-01  
(EXHIBIT "A" OF CITY COUNCIL RESOLUTION 2024-48)**

**7600 GRAVES AVENUE  
(APN: 5285-016-020)**

**CONDITIONS OF APPROVAL  
OCTOBER 8, 2024**

**Standard Conditions of Approvals**

1. Planned Development 23-01 ("Project") is approved for the legalization and intensification of land uses consisting of transitional and supportive housing, mental health services, administrative services, early education, daycare, religious and institutional uses, and open space and recreational uses offered at 7600 Graves Avenue, thereby changing the permissible uses of the site. Additionally, the Project is approved for tenant improvements to both the ground floor and second floor of Laboure Hall to adapt its previous use as an orphanage to transitional housing in accordance with the plans marked Exhibit "B," dated August 26, 2024. Any revisions to the approved plans shall be resubmitted for the Planning Division's review and, if satisfactory, approval.
2. The following conditions must be complied with to the satisfaction of the Planning Division prior to final approval of the associated plans, building permits, occupancy permits, or any other appropriate request.
3. The conditions listed on this exhibit shall be copied directly onto any development plans subsequently submitted to the Community Development Department.
4. Approval of Project shall not take effect for any purpose until the applicant(s) have filed with the City of Rosemead ("City") a notarized affidavit stating that he/she is aware of and accepts all of the conditions of approval as set forth in the letter of approval and this list of conditions within ten (10) days from the City Council approval date.
5. The on-site public hearing notice posting shall be removed by the end of the 10-day appeal period of Project.
6. This approval is effective for a period of two (2) years. The applicant(s) shall commence the approved project or request an extension within 30 calendar days prior to expiration. The two (2) year initial approval period shall be effective from the City Council approval date. For the purpose of this petition, project commencement shall be defined as beginning the permitting process with the Community Development Department, or the commencement of land use activity and operations in the case where no permits are required, so long as the project is not

abandoned. If Project has been unused, abandoned, or discontinued for a period of two (2) years, this approval shall become null and void.

7. The City Council hereby authorizes the Planning Division to make and/or approve minor modifications to the Project and to these conditions of approval.
8. Project is granted or approved with the City and its City Council retaining and reserving the right and jurisdiction to review and to modify the permit, including the conditions of approval based on changed circumstances. Changed circumstances include, but are not limited to, the modification of the use, a change in scope, emphasis, size, or nature of the use, or the expansion, alteration, reconfiguration, or change of use. This reservation of right to review is in addition to, and not in lieu of, the right of the City and its City Council to review and revoke or modify any permit granted or approved under the Rosemead Municipal Code for any violations of the conditions imposed on Project.
9. The applicant(s) shall defend, indemnify, and hold harmless the City of Rosemead or its agents, officers, and employees from any claim, action, or proceeding against the City of Rosemead or its agents, officers, or employees to attack, set aside, void, or annul, an approval of the City Council concerning the project, which action is brought within the time period provided by law.
10. The applicant(s) shall comply with all Federal, State, and local laws relative to the approved use, including the requirements of the Planning, Building, Fire, Sheriff, and Health Departments.
11. Building permits will not be issued in connection with any project until such time as all plan check fees and all other applicable fees are paid in full. Prior to issuance of building permits, any required school fees shall be paid. The applicant shall provide the City with written verification of compliance from the applicable school districts.
12. The numbers of the address signs shall be at least six (6) inches tall with a minimum character width of 3/4 inch, contrasting in color and easily visible at driver's level from the street. Materials, colors, location, and size of such address numbers shall be approved by the Community Development Director, or his/her designee, prior to installation.
13. The hours of construction shall be limited from 7:00 a.m. to 8:00 p.m., Monday through Saturday. No construction shall take place on Sundays or on any federal holiday, without prior approval by the City. The applicant shall abide by the noise control sections of the Rosemead Municipal Code.
14. The Community Development Department and Public Works Department shall have access to the project site at any time during construction to monitor progress.

15. All requirements of the Community Development Department and Public Works Department shall be complied with prior to the final approval of the proposed construction.
16. All ground/roof level mechanical/utility equipment (including meters, back flow prevention devices, fire valves, A/C condensers, furnaces, and other equipment) shall be located away from public view or adequately screened by landscaping or screening walls so as not to be seen from the public right-of-way.
17. The applicant(s) shall keep the electrical and mechanical equipment and/or emergency exits free of any debris, storage, furniture, etc., and maintain a minimum clearance of five (5) feet.
18. The site shall be maintained in a clean, weed, and litter free state in accordance with Sections 8.32.010-8.32.040 of the Rosemead Municipal Code, which pertains to the storage, accumulation, collection, and disposal of garbage, rubbish, trash, and debris. All trash containers shall be stored in the appropriate trash enclosure at all times. All trash, rubbish, and garbage receptacles shall be regularly cleaned, inspected, and maintained in a clean, safe, and sanitary condition.
19. Violations of the conditions of approval may result in citation and/or initiation of revocation proceedings.

**Project Specific Conditions of Approval**

20. The Project shall not involve any physical expansion of existing structures. All services shall be conducted within the confines of the existing campus facilities.
21. Transitional and supportive housing as part of the Project shall operate consistent with California Government Code Section 65582.
22. All referral processes, including self-referrals, shall adhere to a predefined intake procedure to verify alignment of client needs with the services offered. The procedure shall be consistently applied for all referrals.
23. A supportive services plan for the use of transitional and supportive housing shall be maintained and made available to the City upon request. The supportive services plan shall include, at minimum, the description of services provided, the entity providing the services, whether the services are located on-site or off-site, and the staffing levels provided.
24. A drop-off and pick-up plan shall be prepared for any daycare and/or early education uses provided. All drop-off and pick-up shall occur on-site. The plan shall not permit vehicles of parents and guardians to idle in drive aisles. All driveway entrances and exits shall remain open and unobstructed at all times.

25. Exterior noise levels and visitation shall be limited after 10:00 p.m. pursuant to RMC Section 8.36.060(A)(1), which states that the allowable exterior noise level shall be 60 dBA between 10:00 p.m. and 7:00 a.m. and 65 dBA between 7:00 a.m. and 10:00 p.m.
26. Professional staff shall be employed to provide services for the following land uses: transitional housing, mental health services, administrative services, early education, daycare, religious and institutional uses, and open space and recreational uses.

#### **Seton House Program**

27. The Seton House program shall exclusively serve parents and children.
28. The occupancy of the Seton House program shall not exceed the occupancy limits as set by the California Building Code and Fire Marshall for any building on-site.
29. A drug-free environment policy at Seton House shall be established, with strict rules prohibiting drug use on the premises and corrective actions in place for violations.

#### **Hope Housing for Students Program**

30. The Hope Housing for Students program shall exclusively serve students attending a college.
31. The occupancy of the Hope Housing for Students program shall not exceed the occupancy limits as set by the California Building Code and Fire Marshall for any building on-site.

#### **Religious and Institutional Uses**

32. Maryvale shall obtain all necessary permits, including Temporary Use Permits and Special Event Permits, as outlined in RMC Chapter 17.124 - Temporary Use Permits and Special Events.
33. No plans for future expansion or changes in services and activities currently offered on campus shall proceed without the City's approval.

#### **Chief of Police Conditions of Approval**

34. A 24-hour video surveillance system shall be installed. Coverage shall include the following areas.
  - a. Patron and employee arrival and departure
  - b. Immediate and adjoining parking areas
  - c. Rear parking areas
  - d. Entire exterior perimeter

35. The video surveillance's footage shall be stored for a minimum of 30 days and be made available to law enforcement and the Code Enforcement Division upon request.
36. The campus shall be subject to inspections by law enforcement and the Code Enforcement Division during all business hours.
37. Good lighting in the parking lots and exterior areas of the campus shall be maintained during hours of darkness to the satisfaction of the Chief of Police.
38. The front gate allowing entry/exit to the campus shall be closed during overnight hours (2200-0530) and shall only be accessed via a call box. A phone number for the contracted security personnel shall be posted at the gate. The security personnel shall be responsible for verifying that only staff, registered residents, and their registered guests with valid government-issued identification are allowed on the premises.
39. A key shall be required for door access to each building.
40. A minimum of one licensed security guard shall be present on the campus during the nighttime.
41. A risk management plan addressing potential security threats and mitigation shall be developed. The plan shall be provided to the City upon request.
42. Training regarding security protocols and emergency procedures shall be provided to staff annually.

#### **Public Works Conditions of Approval**

43. The second sheet of building plans, grading plans, and/or off-site improvement plans are to list all conditions of approval and to include a copy of the City Council's decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
44. A separate permit shall first be obtained from the City's Public Works Department prior to placement of any construction materials or equipment in the public way.
45. Remove and replace broken and off grade curb and gutter per SPPWC Latest edition and as directed by the City Engineer or his/her designee.
46. A Landscaping plan is to be submitted, reviewed, and approved by the City Engineer or his/her designee prior to the issuance of permits. The landscaping plan shall provide for the following:
  - a. The existing weep holes within the block wall located along the property frontage along the south side of Graves Avenue will need to be filled in and redirected to



drain into an interior drainage system, as shown on the landscaping plan. Weep holes currently allow for water to drain over the sidewalk.

47. Prior to final of the building permit(s), inspection shall be required by Public Works inspector.

**Building and Safety Conditions of Approval**

48. The second sheet of building plans is to list all conditions of approval and to include a copy of the City Council's decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
49. Plans prepared in compliance with the current Building Code shall be submitted to the Building Division for review prior to permit issuance.
50. Fees shall be paid to the County of Los Angeles Sanitation District prior to issuance of the building permit.
51. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
52. Structural assessment shall be conducted by an architect, civil engineer, or structural engineer to ensure the existing partition walls and/or unit separation walls on the second floor to be removed are not part of the existing structural systems, including those designed to resist gravity and/or lateral loading. Otherwise, provide structural design drawings for the proposed structural alterations along with supporting calculations.
53. Structural assessment shall be conducted by an architect, civil engineer, or structural engineer to ensure the existing corridor was constructed with concrete partition walls and concrete ceiling at roof well. Otherwise, provide fire-resistance design for the corridor, including its walls and ceiling, to meet the current standards.
54. The hanging of new hard-lid ceiling shall not exceed the structural loading limitations per California Existing Building Code regarding prescriptive requirements for alterations. Otherwise, a structural analysis of existing building or portion thereof carrying additional loading is required.
55. The use of the building or portion thereof for (non-transient) transitional or supportive housing as defined by Government Code 65582 with more than 16 occupants shall be classified as Group R-2 Occupancy.
56. An allowable building area analysis shall be provided to justify the existing building qualifies as Type IIIB construction, having 2-hour fire-resistance rated exterior wall of non-combustible materials per the current code. Documentations shall be provided to validate that

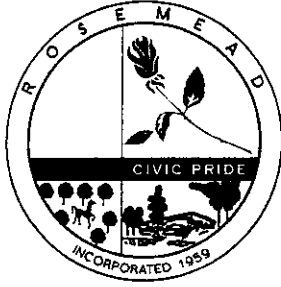
the existing building is fire-sprinklered with NFPA-13 system. Justifications shall also be provided that the allowable area for the most restrictive occupancy (A-3 in this case) complies.

57. New dwelling unit separation walls shall be constructed per Section 420.2 of the Building Code. Note the separation wall should be connected to a rated floor assembly or to be continuous down to the foundation.
58. Should the existing Laboure Hall be first constructed or preciously converted to an I-occupancy for use of childcare or orphanage, the exemption for housing accessibility per Section 1102A.2 of the Building Code does not apply. While the proposed conversion of a portion of existing sleeping rooms to R-2 occupancy itself does not trigger the housing accessibility requirements per Chapter 11A, the existing portion to remain as a public accommodation may be subject to on-going obligation to remove barriers under Title III of the American Disability Act. The regulations in Chapter 11B of the Building Code, including path of travel requirements, may apply to the alteration to the existing offices on the first floor.
59. Separate application and plan review is required for mechanical, electrical, and plumbing plans.
60. Project shall comply with the CalGreen Non-Residential mandatory requirements and CalGreen Residential mandatory requirements.
61. Where five or more multifamily dwelling units are constructed on a building site per Section 4.410.2 of the CalGreen Code, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of nonhazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.
62. All fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit.
63. A separate permit is required for Fire Sprinklers.



## Attachment B

Planning Commission Staff Report  
Dated September 16, 2024



# ROSEMEAD PLANNING COUNCIL STAFF REPORT

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TO: THE HONORABLE CHAIR AND PLANNING COMMISSION

FROM: PLANNING DIVISION

DATE: SEPTEMBER 16, 2024

SUBJECT: **PLANNED DEVELOPMENT 23-01**  
**7600 GRAVES AVENUE**

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## **SUMMARY**

Maryvale ("Applicant") has submitted a Planned Development application to legalize and intensify land uses consisting of transitional and supportive housing, mental health services, administrative services, early education, daycare, religious and institutional uses, and open space and recreational uses to be offered at 7600 Graves Avenue, thereby changing the permissible uses of the site. The Project's scope of work entails tenant improvements to both the ground floor and second floor of Laboure Hall to adapt its previous use as an orphanage to transitional and supportive housing. Tenant improvements include the reconfiguration of existing kitchen spaces and conversion of dormitory-style suites with communal bathrooms to individual family suites with private bathrooms ("Project"). No physical expansion of the existing buildings on-site is proposed as a part of the Planned Development application. The site consists of one parcel (APN: 5285-016-020) that encompasses a total lot area of 594,594 square feet (13.65 acres) and is located at 7600 Graves Avenue in the Planned Development (P-D) zone.

Section 17.24.040(E) of Rosemead Municipal Code (RMC) states that "changes in the use shown in the Development Plan shall be considered in like manner as changes in the Zoning Map and shall be made in accordance with the procedures set forth in this Title, except such changes may be accomplished by a resolution rather than by ordinance."

## **ENVIRONMENTAL DETERMINATION**

The California Environmental Quality Act (CEQA) Guidelines outline a list of classes of projects that are deemed to have minimal environmental impact and thus are categorically exempt from the full environmental review process required by CEQA. Among the categorical exemptions is Class 1 Categorical Exemption, which covers projects that involves "the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use"

(California Code of Regulations, Title 14, Section 15301). Projects falling under Class 1 Categorical Exemption are detailed in CEQA Guidelines Section 15301(a)-(p). P-D 23-01 qualifies as a categorical exemption, as it aligns with CEQA Guidelines Section 15301(a), which includes “interior or exterior alterations involving such things as interior partitions, plumbing, and electrical conveyances.” Accordingly, P-D 23-01 is classified as a Class 1 Categorical Exemption pursuant to Section 15301 of the CEQA Guidelines.

### **STAFF RECOMMENDATION**

It is recommended that the Planning Commission ADOPT Resolution No. 24-09 with findings (Exhibit “A”), recommending that the City Council adopt Resolution No. 2024-48 (Exhibit “B”) for the approval of Planned Development 23-01, subject to the 63 conditions.

### **PROPERTY HISTORY**

The subject site, located at 7600 Graves Avenue, stretches along Graves Avenue between Del Mar Avenue and Stevens Avenue. According to Maryvale’s website (<https://www.maryvale.org/history>), Maryvale was founded by the Daughters of Charity, a Roman Catholic religious congregation of women established by St. Vincent de Paul in France in 1633. In 1856, the Daughters of Charity opened the Los Angeles Orphan Asylum, marking Los Angeles’ first orphanage and hospital, where Union Station now stands. The history of the Maryvale campus in Rosemead (“Rosemead Campus”) dates to 1953 when the 13.65-acre campus became the new home for the Los Angeles Orphan Asylum with the efforts of the Los Angeles Orphanage Guild and Carrie Estelle Doheny Foundation. From 1953 to 2021, the Rosemead Campus was in use as a service provider for the child welfare system. The following is a salient summary of the Rosemead Campus’ historic uses according to Maryvale’s website:

- **1953** - The Los Angeles Orphan Asylum relocates from Boyle Heights to Rosemead. The Los Angeles Orphan Asylum is renamed “Maryvale.”
- **1968** - Maryvale establishes an in-house daycare center for children up to the age of six.
- **2014** - Maryvale opens the St. Vincent de Paul Emergency Shelter program for children ages six to 12 who have recently been removed from their homes due to abuse, neglect, or abandonment, children in the midst of crisis, or those transitioning between foster placements. The program provides short-term care in a specialized setting. Children receive medical attention and educational and social-emotional assessments.
- **2019** - Maryvale closes the St. Vincent de Paul Emergency Shelter program and establishes a residential treatment program for girls ages six to 21.
- **2020** - Maryvale concludes the residential treatment program but continues to provide mental health services for children, youth, and families, alongside sustaining its Early Education and Community-Based programs.
- **2021** - Maryvale partners with The Shower of Hope to provide temporary housing for female college students facing housing insecurity.

The establishment of Maryvale in 1953 predates the incorporation of the City of Rosemead in 1959. As such, Maryvale's land uses, which were preexisting to 1959, are vested due to their legal nonconforming status. As provided in RMC Section 17.72.010, legal nonconforming uses are defined as "land uses, structures, and lots within the City that were lawfully established, constructed, or subdivided before the adoption or amendment of this Code, but which would be prohibited, regulated, or restricted differently under the current terms of this Code." Accordingly, the legal nonconforming status is only applicable to the preexisting land uses established by Maryvale prior to the City's incorporation in 1959 and does not extend to new uses. Any new uses, including transitional and supportive housing, shall require approval by the City Council. However, Maryvale has established new uses without City approval, including transitional and supportive housing under the Seton House and Hope Housing for Students programs, mental health services, and religious and institutional uses.

Presently, the Rosemead Campus consists of 12 buildings, most of which were constructed in 1953 (see Figure 1). Noteworthy among them are Seton House, Laboure Hall, St. Vincent Hall, the covenant, chapel, and two buildings labelled "school" and "infant care." Seton House is 4,600 square feet and is currently dedicated to the Seton House program; the occupant load of Seton House is 52. Laboure Hall is 49,214 square feet and is currently not in use; the Applicant is proposing to renovate Laboure Hall to intensify the Seton House program through P-D 23-01. After renovations, the occupant load of Laboure Hall is 186 on the ground floor and 188 on the second floor, totaling 374. St. Vincent Hall is 7,845 square feet and is allocated to the Hope Housing for Students program; the occupant load of Vincent Hall is 41. The covenant is 8,300 square feet and provides residence for Maryvale's nuns. The chapel is 7,200 square feet and holds private worship services. The buildings labelled "school" and "infant care" are 9,272 square feet and 15,900 square feet, respectively. The former offers early childhood education, while the latter offers infant care. All buildings are single-story, with the exception of Laboure Hall, which is two-story. A comprehensive overview of Maryvale's programs is outlined in the "Discussion" section of the staff report.

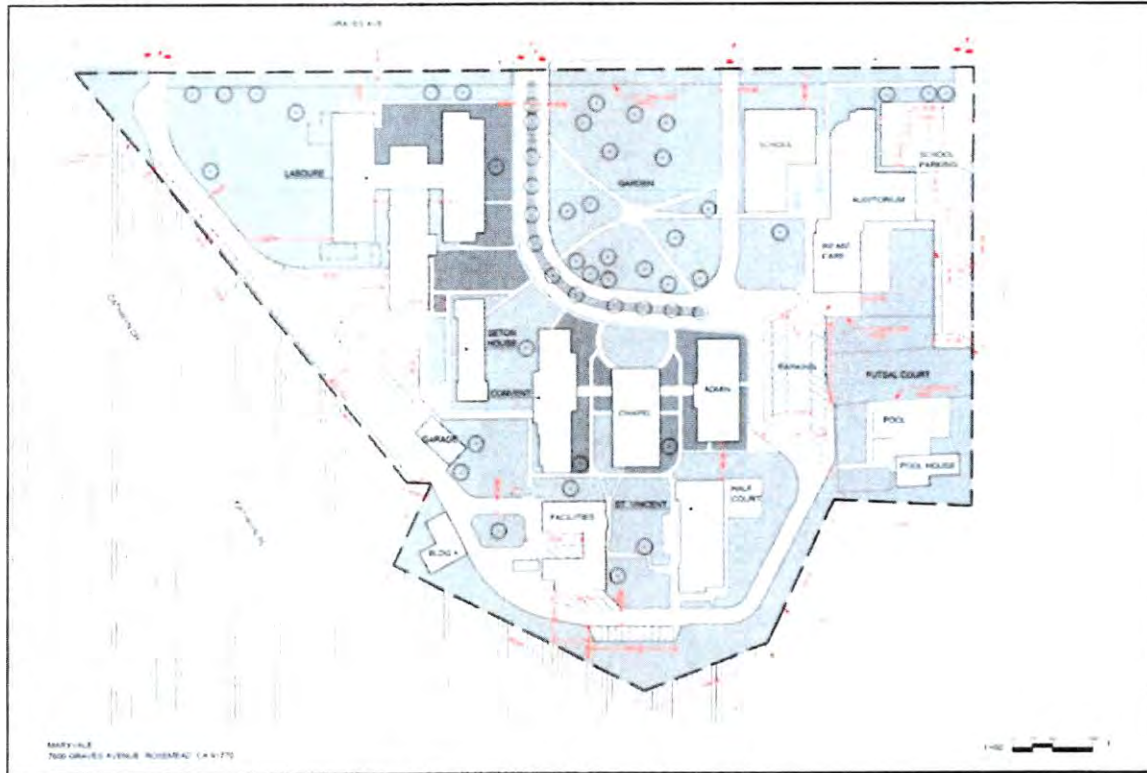


Figure 1. Site Plan of Maryvale

**SITE AND SURROUNDING LAND USES**

The subject site is designated Public Facilities in the General Plan and Planned Development (P-D) on the Zoning Map. The site is surrounded by the following land uses and zones:

**North**

General Plan Designation:	Medium Density Residential
Zoning:	Light Multiple Residential (R-2)
Land Use:	Residential

**South**

General Plan Designation:	Not Applicable (County of Los Angeles)
Zoning:	Not Applicable (County of Los Angeles)
Land Use:	Residential

**East**

General Plan Designation:	Public Facilities
Zoning:	Planned Development (P-D)
Land Use:	Institutional

**West**

General Plan Designation:	Not Applicable (County of Los Angeles)
Zoning:	Not Applicable (County of Los Angeles)
Land Use:	Residential

## DISCUSSION

The Project parameters involve the legalization and intensification of land uses consisting of transitional and supportive housing, mental health services, administrative services, early education, daycare, religious and institutional uses, and open space and recreational uses at the project site. Furthermore, the scope of work includes tenant improvements to both the ground floor and second floor of Laboure Hall for the intensification of the Seton House program. Tenant improvements include the reconfiguration of existing kitchen spaces and conversion of dormitory-style suites with communal bathrooms to individual family suites with private bathrooms. No physical expansion of the existing buildings on-site is proposed as a part of P-D 23-01.

Maryvale currently administers programs for at-risk children and adults. The following is an overview of the programs currently in operation at the Rosemead Campus, as outlined in the Project description submitted by the Applicant. A copy of Maryvale's Project description can be found in Exhibit "D":

- **Seton House** - The Seton House program provides six months of temporary housing to nine mothers with up to two children under 10 years of age who are formerly unhoused or housing insecure. Mothers are 18 years old or older with at least one child and may also be pregnant with their second child. Currently, the program accommodates nine mothers and eleven children, with a maximum capacity of 27 individuals. Referrals come from public and private agencies and self-referrals, with key referring agencies including the Los Angeles County Department of Mental Health, Los Angeles County Department of Children and Family Services, and school districts. Residents follow an eight-step program toward self-sufficiency and permanent housing, participating in interpersonal skills building, substance use counseling, and vocational training, among others. Residents with a history of substance abuse must self-report their abstinence from drugs for a minimum of 30 days leading to their enrollment. The program has procedures in place for random drug testing, as drug use is strictly forbidden during their stay. Substance abuse classes are conducted both on-site and off-site, depending on the facilitator's affiliation. The program has been operating in the building known as "Seton House" in Figure 1 without the necessary permits. Under P-D 23-01, the Applicant proposes to legalize and intensify the Seton House program to accommodate additional parents and children in accordance with the occupant load set by the California Building Code and Fire Marshall. The intensification entails renovating the ground floor and second floor of Laboure Hall to create 20 additional units with attached bathrooms; no additional square footage is proposed. After renovations, the occupant load of Laboure Hall is 186 on the ground floor and 188 on the second floor, totaling 374. Conditions of approval regarding the Seton House program have been incorporated, including limitations on building occupancy and requirements on establishing and maintaining a drug-free environment.



- **Hope Housing for Students** – As a partnership between Maryvale and Shower of Hope, the Hope Housing for Students program provides 14 female students between ages 18 to 28 from East Los Angeles College grappling with housing insecurity due to factors like domestic violence and homelessness. To qualify, students are required to enroll in nine units or more, maintain a minimum GPA of 2.0, and commit to 12 hours of work or volunteer time per week. The program offers a one-year stay, with three six-month extensions contingent on performance evaluation. Students benefit from free housing, meals, clothing, and other basic needs, along with case management and mental health services addressing trauma-related illnesses. Moreover, students have access to one-on-one tutoring aimed at transitioning to four-year universities and workshops covering life skills like financial literacy and healthy living. Program rules require students to maintain cleanliness, adhere to noise levels, and refrain from visitors. Under P-D 23-01, the Applicant proposes to legalize the Hope Housing for Students as it currently is. Conditions of approval regarding the Hope Housing for Students program have been incorporated, including limitations on building occupancy.
- **Mental Health Services** - Maryvale offers community mental health services to at-risk children, particularly those age 25 and under diagnosed with mental disorders according to the most recent edition of the Diagnostic and Statistical Manual of Mental Disorders, along with their families. Referrals come from various agencies, including public and private agencies, commercial insurance companies, Medi-Cal Managed Care Plans, and self-referrals. Key referring agencies include the Los Angeles County Department of Mental Health, Los Angeles County Department of Children and Family Services, Kaiser Permanente, and school districts. Services are in the form of outpatient services and wraparound services, with an emphasis on prevention and early intervention. While services are available daily from 8:00 a.m. to 10:00 p.m. on campus, most consultations occur off campus, either at clients' homes or online. Under P-D 23-01, the Applicant proposes to legalize the use of mental health services as it currently is.
- **Early Education** - Maryvale offers early childhood education to a maximum of 120 children, spanning from birth to enrollment in kindergarten. The program exposes children to activities designed to support children's mental, emotional, social, and physical development. Maryvale offers subsidized enrollment for qualifying low-income families through state funding. Services are available daily from 7:00 a.m. to 7:00 p.m. Under P-D 23-01, the Applicant is not proposing any changes to the use of early education.
- **Religious and Institutional Uses** - Maryvale functions as a convent that provides residence to 10 nuns. While public worship services have ceased for the past decade, private worship services are still held. Maryvale also hosts religious services, such as funerals and events like blood drives and fundraisers, with the latter possibly drawing up to 500 attendees. Under P-D 23-01, the Applicant

proposes to legalize the religious and institutional uses as they currently are. A condition of approval has been added to ensure that the Applicant attain all necessary permits, including Temporary Use Permits and Special Event Permits, as specified in RMC Chapter 17.124.

Per their drug-free policy, Maryvale stresses that they are committed to maintaining a drug- and alcohol-free campus for all programs held on the premises. To uphold their commitment, Maryvale prohibits the use, sale, purchase, possession, or distribution of any drugs or controlled substances by all staff, residents, and visitors. Maryvale enforces a zero-tolerance policy, addressing any violations or convictions promptly. Disciplinary actions may include removal from the premises and, if necessary, involvement of law enforcement.

The Project aligns with the goals and policies of the City's adopted Housing Element, particularly "Program Strategy 9: Special Housing Needs and Zoning Amendments" of the Housing Element. Applicable goals and policies include:

- **Policy 1 of Goal 2** - There shall be a variety of housing types and prices to accommodate a wide range of housing needs and tastes.
- **Policy 6 of Goal 2** - Continue to foster partnerships with community organizations, religious institutions, nonprofits, industry groups and other stakeholders to further opportunities for affordable housing.
- **Policy 1 of Goal 3** - A range of housing opportunities shall be provided to existing and future residents of the City of Rosemead to help ensure that housing is available to all socio- economic segments and special need groups within the community.

Maryvale's capital improvements will be funded by the U.S Department of Housing and Urban Development (HUD), specifically Representative Judy Chu's Office. Maryvale secured \$1,000,000 in funding for the Project named "Maryvale Single Mothers Temporary Housing Expansion." The funding will cover expenses related to construction-related costs, including labor and materials, in converting Laboure Hall.

### **WRITTEN PUBLIC COMMENTS**

At the time of posting this Agenda report, the City had received a total of 32 written public comments in support of the Project from various organizations and members of the public. The written public comments can be found in Exhibit "E."

## **MUNICIPAL CODE REQUIREMENTS AND FINDINGS**

Sections 17.24.030(D)(1) and 17.24.030(D)(2) of the Rosemead Municipal Code (RMC) indicate that the purpose of the P-D zone is as follows: "This zone is designated to accommodate various types of development such as shopping centers, professional and administrative areas, multiple housing developments, single-family residential developments, commercial service centers and industrial parks and other uses or a combination of uses which can be made appropriately a part of planned development. A Planned Development zone may be established to provide diversification in the location of structures and other land uses while insuring compliance with the General Plan and compatibility with existing and future developments in surrounding areas." Accordingly, RMC Section 17.24.040(E) states that "changes in the use shown in the Development Plan shall be considered in like manner as changes in the Zoning Map and shall be made in accordance with the procedures set forth in this Title, except such changes may be accomplished by a resolution rather than by ordinance."

The findings required in RMC Sections 17.24.030(D)(2) and 17.24.040(E) are contained in PC Resolution 24-09 (Exhibit "A").

## **PUBLIC NOTICE PROCESS**

This item has been noticed through the regular agenda notification process, which includes a 300-foot radius public hearing notice to 125 property owners, publication in the Rosemead Reader on September 5, 2024, and posting of the notice at the six public locations and subject site.

Prepared by:



Lina Do  
Assistant Planner

Submitted by:



Lily Valenzuela  
Director of Community Development

### **EXHIBITS:**

- A. Planning Commission Resolution 24-09 with Attachment "A"
- B. City Council Resolution 2024-48 with Exhibit "A" (Conditions of Approval)
- C. Site Plan, Floor Plan, and Elevations (Dated August 26, 2024)
- D. Project Description (Revised June 14, 2024)
- E. Letters/Emails of Support
- F. Assessor Parcel Map (APN: 5285-016-020)

**EXHIBIT "A"**

**PC RESOLUTION 24-09**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROSEMEAD, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, RECOMMENDING THE CITY COUNCIL APPROVE PLANNED DEVELOPMENT 23-01 FOR THE LEGALIZATION AND INTENSIFICATION OF LAND USES CONSISTING OF TRANSITIONAL AND SUPPORTIVE HOUSING, MENTAL HEALTH SERVICES, ADMINISTRATIVE SERVICES, EARLY EDUCATION, DAYCARE, RELIGIOUS AND INSTITUTIONAL USES, AND OPEN SPACE AND RECREATIONAL USES IN CONJUNCTION WITH THE RENOVATION OF LABOURE HALL FOR TRANSITIONAL AND SUPPORTIVE HOUSING. THE SUBJECT SITE IS LOCATED AT 7600 GRAVES AVENUE (APN: 5285-016-020) IN THE PLANNED DEVELOPMENT (P-D) ZONE**

**WHEREAS**, on July 17, 2023, Maryvale submitted a Planned Development application, requesting approval for the legalization and intensification of land uses consisting of transitional and supportive housing, mental health services, administrative services, early education, daycare, religious and institutional uses, and open space and recreational uses in conjunction with the renovation of Laboure Hall for transitional and supportive housing located at 7600 Graves Avenue; and

**WHEREAS**, 7600 Graves Avenue is within the Planned Development zone; and

**WHEREAS**, Rosemead Municipal Code Sections 17.24.040 and 17.152.060(B) provide the criteria for a Planned Development; and

**WHEREAS**, Sections 65800 and 65900 of the California Government Code and Rosemead Municipal Code Sections 17.152.040 and 17.152.050 authorize the Planning Commission to forward a written recommendation, and reasons for the recommendation, to the City Council whether to approve, approve in modified form, or deny the proposed amendment. Upon receipt of the Planning Commission's recommendation to approve, or approve in modified form, the proposed amendment, the City Council shall conduct a public hearing and either approve, approve in modified form, or deny the proposed amendment based on the findings; and

**WHEREAS**, on September 5, 2024, 125 notices were sent to property owners within a 300-foot radius from the subject property, the notice was published in the Rosemead Reader, and the notice was posted at six public locations and on-site, specifying the availability of the application along with the date, time, and location of the public hearing for Planned Development 23-01 pursuant to California Government Code Section 65091(a)(3); and

**WHEREAS**, on September 16, 2024, the Planning Commission held a duly noticed and advertised public hearing to receive oral and written testimony relative to Planned Development 23-01; and

**WHEREAS**, the Planning Commission has sufficiently reviewed City staff reports and attachments, considered all written and oral testimony presented to them, and deliberated among each other in order to make the following recommendations.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Rosemead as follows:

**SECTION 1.** The Planning Commission HEREBY RECOMMENDS to the City Council that Planned Development 23-01 is classified as a Class 1 Categorical Exemption pursuant to Section 15301 of the California Environmental Quality Act Guidelines. Section 15301 of the California Environmental Quality Act Guidelines exempts projects that encompass "interior or exterior alterations involving such things as interior partitions, plumbing, and electrical conveyances."

**SECTION 2.** The Planning Commission HEREBY FINDS AND DETERMINES that facts do exist to justify recommending to the City Council approving Planned Development 23-01 in accordance with Rosemead Municipal Code Sections 17.24.040 and 17.152.060(B) as follows:

**FINDING 1:** The proposed amendment is consistent with the General Plan and any applicable specific plan.

**FACTS:** The subject site is designated Public Facilities in the General Plan and Planned Development on the Zoning Map. As defined in the General Plan, the Public Facilities designation applies to "those land uses that are operated and maintained for public benefit. Public facilities include educational facilities, parks, utilities, and buildings or areas that support government activities. This land use category also includes quasi-public uses such as private utilities easements, private schools, and institutional activities." Correspondingly, Maryvale's longstanding presence since 1953 prior to the City's incorporation in 1959 and its historical role as an educational facility and facility that supports governmental and institutional activities align with its Public Facilities designation. Moreover, according to the "General Plan and Zoning Ordinance Consistency" table in the General Plan, the P-D zone is a corresponding zone district to residential land use designations: Low Density Residential, Medium Density Residential, and High Density Residential. Residential uses are permitted in the P-D zone with the approval of the City Council. As such, the proposed amendment, particularly the legalization and intensification of transitional and supportive housing, is consistent with the General Plan.

**FINDING 2:** The proposed amendment will not be detrimental to the public interest, health, safety, convenience, or welfare of the City.

**FACTS:** Planned Development 23-01 does not adversely affect the adjoining land uses of the area in which the subject site is within, given the established presence of Maryvale since 1953 prior to the City's incorporation. Although unpermitted, the Seton House program and Hope Housing for Students program have provided temporary housing to mothers and their children since 2022 and female college students attending East Los Angeles College since 2021, respectively. As such, the proposed uses are in a similar manner as Maryvale's current uses. Furthermore, the support services offered by both programs are confined to program participants and do not extend beyond said participants. Moreover, the proposed scope of work to increase the occupancy of the Seton House program is low in impact. The intensification of the program only consists of capital improvements to Laboure Hall, an existing and vacant building. Laboure Hall is of sufficient size to accommodate the full development of the program without any physical expansion. Similarly, the religious and institutional uses, though also unpermitted, have been in operation for more than a decade. Legalizing the religious and institutional uses maintains a sense of continuity for both residents and visitors. The use is also expected to have minimal impacts, as public worship services are no longer held.

The existing land uses of mental health services and early education at Maryvale are also unpermitted but serve as resources that positively affect the overall well-being of the community. By offering mental health services in the community, residents have easier access to professional assistance. Mental health services directly and indirectly mitigate crime and substance abuse and, in turn, enhance public safety and welfare. Relatedly, early education positively provides children with cognitive, social, and emotional stimulation during their formative years.

Planning staff have worked with the Chief of Police to incorporate conditions of approval that consider the health, safety, and welfare of the City. This includes conditions pertaining to consistent referral processes for all referrals, including self-referrals, noise limitations, occupancy regulations, and drug-free policies. Specifically, Maryvale stresses their commitment to maintaining a drug- and alcohol-free campus for all programs held on the premises per their drug-free policy. To uphold their commitment, Maryvale prohibits the use, sale, purchase, possession, or distribution of any drugs or controlled substances by all staff, residents, and visitors. Maryvale enforces a zero-tolerance policy, addressing any violations or convictions promptly. Disciplinary actions may include removal from the premises and, if necessary, involvement of law enforcement.

Moreover, Planned Development 23-01 is deemed to have minimal environmental impact and thus is categorically exempt from the full environmental review process required by the California Environmental Quality Act (CEQA). The project is classified as a Class 1 Categorical Exemption pursuant to Section 15301 of the CEQA Guidelines, as it involves "interior or exterior alterations involving such things as interior partitions, plumbing, and electrical conveyances." Accordingly, under the conditions imposed, the proposed amendment is not detrimental to the public interest, health, safety, convenience, or welfare of the City.

**FINDING 3:** The affected site is physically suitable in terms of design, location, operating characteristics, shape, size, topography, and the provision of public and emergency vehicle access, and public services and utilities and is served by highways and streets adequate in width and improvement to carry the kind and quantity of traffic the proposed use would likely generate, to ensure that the proposed use(s) and/or development will not endanger, jeopardize, or otherwise constitute a hazard to the property or improvements in the vicinity in which the property is located.

**FACTS:** Traffic generated by Planned Development 23-01 does not impose an undue burden upon the highways and streets in the area, as all participants of the proposed use of transitional and supportive housing under the Seton House program and Hope Housing for Students program will reside on campus. Similarly, the proposed use of mental health services has been in existence at Maryvale and has not presented any notable problems concerning traffic. Services are available daily from 8:00 a.m. to 10:00 p.m. on campus, but most consultations occur off campus at clients' homes or online, alleviating on-campus traffic congestion. While religious and institutional uses may occasionally attract higher volumes of vehicles for events, such as funerals, blood drives, and fundraisers, a condition of approval has been added to ensure that the Applicant obtain all necessary permits, including Temporary Use Permits and Special Event Permits, as specified in Rosemead Municipal Code Chapter 17.124. The existing number of off-street parking spaces at Maryvale is proposed to remain unchanged.

The Public Works Department has reviewed the scope of work and found no significant concerns with the proposed scope of work. Conditions of approval have been incorporated to address street infrastructure, including the removal and replacement of off-grade curb and gutter and the fill and redirection of existing weep holes within the block wall along Graves Avenue.

**SECTION 3.** The Planning Commission HEREBY RECOMMENDS CITY COUNCIL APPROVAL of Planned Development 23-01 for the legalization and intensification of land uses consisting of transitional and supportive housing, mental health services, administrative services, early education, daycare, religious and institutional uses, and open space and recreational uses in conjunction with the renovation of Laboure Hall for transitional and supportive housing.

**SECTION 4.** This action shall become final and effective ten (10) days after this decision by the Planning Commission, unless within such time a written appeal is filed with the City Clerk for consideration by the Rosemead City Council as provided in Rosemead Municipal Code, Section 17.160.040 – Appeals of Decisions.

**SECTION 5.** This resolution is the result of an action taken by the Planning Commission on September 16, 2024, by the following vote:

**AYES:**  
**NOES:**  
**ABSTAIN:**  
**ABSENT:**

**SECTION 6.** The Secretary shall certify to the adoption of this resolution and shall transmit copies of same to the applicant and the Rosemead City Clerk.

**PASSED, APPROVED, and ADOPTED** this 16<sup>th</sup> day of September 2024.

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James Berry, Chair

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**CERTIFICATION**

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I hereby certify that the foregoing is a true copy of a resolution adopted by the Planning Commission of the City of Rosemead at its regular meeting, held on the 16<sup>th</sup> day of September 2024, by the following vote:

**AYES:**  
**NOES:**  
**ABSTAIN:**  
**ABSENT:**

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Lily Valenzuela, Secretary

**APPROVED AS TO FORM:**

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Rachel Richman, City Attorney  
Burke, Williams & Sorensen, LLP



**ATTACHMENT "A"  
(PC RESOLUTION 24-09)**

**PLANNED DEVELOPMENT 23-01  
7600 GRAVES AVENUE  
(APN: 5285-016-020)**

**CONDITIONS OF APPROVAL  
SEPTEMBER 16, 2024**

**Standard Conditions of Approvals**

1. Planned Development 23-01 ("Project") is approved for the legalization and intensification of land uses consisting of transitional and supportive housing, mental health services, administrative services, early education, daycare, religious and institutional uses, and open space and recreational uses offered at 7600 Graves Avenue, thereby changing the permissible uses of the site. Additionally, the Project is approved for tenant improvements to both the ground floor and second floor of Laboure Hall to adapt its previous use as an orphanage to transitional housing in accordance with the plans marked Exhibit "C," dated August 26, 2024. Any revisions to the approved plans shall be resubmitted for the Planning Division's review and, if satisfactory, approval.
2. The following conditions must be complied with to the satisfaction of the Planning Division prior to final approval of the associated plans, building permits, occupancy permits, or any other appropriate request.
3. The conditions listed on this exhibit shall be copied directly onto any development plans subsequently submitted to the Community Development Department.
4. Approval of Project shall not take effect for any purpose until the applicant(s) have filed with the City of Rosemead ("City") a notarized affidavit stating that he/she is aware of and accepts all of the conditions of approval as set forth in the letter of approval and this list of conditions within ten (10) days from the City Council approval date.
5. The on-site public hearing notice posting shall be removed by the end of the 10-day appeal period of Project.
6. This approval is effective for a period of two (2) years. The applicant(s) shall commence the approved project or request an extension within 30 calendar days prior to expiration. The two (2) year initial approval period shall be effective from the City Council approval date. For the purpose of this petition, project commencement shall be defined as beginning the permitting process with the Community Development Department, or the commencement of land use activity

- and operations in the case where no permits are required, so long as the project is not abandoned. If Project has been unused, abandoned, or discontinued for a period of two (2) years, this approval shall become null and void.
7. The City Council hereby authorizes the Planning Division to make and/or approve minor modifications to the Project and to these conditions of approval.
  8. Project is granted or approved with the City and its City Council retaining and reserving the right and jurisdiction to review and to modify the permit, including the conditions of approval based on changed circumstances. Changed circumstances include, but are not limited to, the modification of the use, a change in scope, emphasis, size, or nature of the use, or the expansion, alteration, reconfiguration, or change of use. This reservation of right to review is in addition to, and not in lieu of, the right of the City and its City Council to review and revoke or modify any permit granted or approved under the Rosemead Municipal Code for any violations of the conditions imposed on Project.
  9. The applicant(s) shall defend, indemnify, and hold harmless the City of Rosemead or its agents, officers, and employees from any claim, action, or proceeding against the City of Rosemead or its agents, officers, or employees to attack, set aside, void, or annul, an approval of the City Council concerning the project, which action is brought within the time period provided by law.
  10. The applicant(s) shall comply with all Federal, State, and local laws relative to the approved use, including the requirements of the Planning, Building, Fire, Sheriff, and Health Departments.
  11. Building permits will not be issued in connection with any project until such time as all plan check fees and all other applicable fees are paid in full. Prior to issuance of building permits, any required school fees shall be paid. The applicant shall provide the City with written verification of compliance from the applicable school districts.
  12. The numbers of the address signs shall be at least six (6) inches tall with a minimum character width of 3/4 inch, contrasting in color and easily visible at driver's level from the street. Materials, colors, location, and size of such address numbers shall be approved by the Community Development Director, or his/her designee, prior to installation.
  13. The hours of construction shall be limited from 7:00 a.m. to 8:00 p.m., Monday through Saturday. No construction shall take place on Sundays or on any federal holiday, without prior approval by the City. The applicant shall abide by the noise control sections of the Rosemead Municipal Code.

14. The Community Development Department and Public Works Department shall have access to the project site at any time during construction to monitor progress.
15. All requirements of the Community Development Department and Public Works Department shall be complied with prior to the final approval of the proposed construction.
16. All ground/roof level mechanical/utility equipment (including meters, back flow prevention devices, fire valves, A/C condensers, furnaces, and other equipment) shall be located away from public view or adequately screened by landscaping or screening walls so as not to be seen from the public right-of-way.
17. The applicant(s) shall keep the electrical and mechanical equipment and/or emergency exits free of any debris, storage, furniture, etc., and maintain a minimum clearance of five (5) feet.
18. The site shall be maintained in a clean, weed, and litter free state in accordance with Sections 8.32.010-8.32.040 of the Rosemead Municipal Code, which pertains to the storage, accumulation, collection, and disposal of garbage, rubbish, trash, and debris. All trash containers shall be stored in the appropriate trash enclosure at all times. All trash, rubbish, and garbage receptacles shall be regularly cleaned, inspected, and maintained in a clean, safe, and sanitary condition.
19. Violations of the conditions of approval may result in citation and/or initiation of revocation proceedings.

**Project-Specific Conditions of Approval**

20. The Project shall not involve any physical expansion of existing structures. All services shall be conducted within the confines of the existing campus facilities.
21. Transitional and supportive housing as part of the Project shall operate consistent with California Government Code Section 65582.
22. All referral processes, including self-referrals, shall adhere to a predefined intake procedure to verify alignment of client needs with the services offered. The procedure shall be consistently applied for all referrals.
23. A supportive services plan for the use of transitional and supportive housing shall be maintained and made available to the City upon request. The supportive services plan shall include, at minimum, the description of services provided, the entity providing the services, whether the services are located on-site or off-site, and the staffing levels provided.

24. A drop-off and pick-up plan shall be prepared for any daycare and/or early education uses provided. All drop-off and pick-up shall occur on-site. The plan shall not permit vehicles of parents and guardians to idle in drive aisles. All driveway entrances and exits shall remain open and unobstructed at all times.
25. Exterior noise levels and visitation shall be limited after 10:00 p.m. pursuant to RMC Section 8.36.060(A)(1), which states that the allowable exterior noise level shall be 60 dBA between 10:00 p.m. and 7:00 a.m. and 65 dBA between 7:00 a.m. and 10:00 p.m.
26. Professional staff shall be employed to provide services for the following land uses: transitional housing, mental health services, administrative services, early education, daycare, religious and institutional uses, and open space and recreational uses.

#### **Seton House Program**

27. The Seton House program shall exclusively serve parents and children.
28. The occupancy of the Seton House program shall not exceed the occupancy limits as set by the California Building Code and Fire Marshall for any building on-site.
29. A drug-free environment policy at Seton House shall be established, with strict rules prohibiting drug use on the premises and corrective actions in place for violations.

#### **Hope Housing for Students Program**

30. The Hope Housing for Students program shall exclusively serve students attending a college.
31. The occupancy of the Hope Housing for Students program shall not exceed the occupancy limits as set by the California Building Code and Fire Marshall for any building on-site.

#### **Religious and Institutional Uses**

32. Maryvale shall obtain all necessary permits, including Temporary Use Permits and Special Event Permits, as outlined in RMC Chapter 17.124 - Temporary Use Permits and Special Events.
33. No plans for future expansion or changes in services and activities currently offered on campus shall proceed without the City's approval.

### **Chief of Police Conditions of Approval**

34. A 24-hour video surveillance system shall be installed. Coverage shall include the following areas:
  - a. Patron and employee arrival and departure
  - b. Immediate and adjoining parking areas
  - c. Rear parking areas
  - d. Entire exterior perimeter
35. The video surveillance's footage shall be stored for a minimum of 30 days and be made available to law enforcement and the Code Enforcement Division upon request.
36. The campus shall be subject to inspections by law enforcement and the Code Enforcement Division during all business hours.
37. Good lighting in the parking lots and exterior areas of the campus shall be maintained during hours of darkness to the satisfaction of the Chief of Police.
38. The front gate allowing entry/exit to the campus shall be closed during overnight hours (2200-0530) and shall only be accessed via a call box. A phone number for the contracted security personnel shall be posted at the gate. The security personnel shall be responsible for verifying that only staff, registered residents, and their registered guests with valid government-issued identification are allowed on the premises.
39. A key shall be required for door access to each building.
40. A minimum of one licensed security guard shall be present on the campus during the nighttime.
41. A risk management plan addressing potential security threats and mitigation shall be developed. The plan shall be provided to the City upon request.
42. Training regarding security protocols and emergency procedures shall be provided to staff annually.

### **Public Works Conditions of Approval**

43. The second sheet of building plans, grading plans, and/or off-site improvement plans are to list all conditions of approval and to include a copy of the City Council's decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.

44. A separate permit shall first be obtained from the City's Public Works Department prior to placement of any construction materials or equipment in the public way.
45. Remove and replace broken and off grade curb and gutter per SPPWC Latest edition and as directed by the City Engineer or his/her designee.
46. A Landscaping plan is to be submitted, reviewed, and approved by the City Engineer or his/her designee prior to the issuance of permits. The landscaping plan shall provide for the following:
  - a. The existing weep holes within the block wall located along the property frontage along the south side of Graves Avenue will need to be filled in and redirected to drain into an interior drainage system, as shown on the landscaping plan. Weep holes currently allow for water to drain over the sidewalk.
47. Prior to final of the building permit(s), inspection shall be required by Public Works inspector.

#### **Building and Safety Conditions of Approval**

48. The second sheet of building plans is to list all conditions of approval and to include a copy of the City Council's decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
49. Plans prepared in compliance with the current Building Code shall be submitted to the Building Division for review prior to permit issuance.
50. Fees shall be paid to the County of Los Angeles Sanitation District prior to issuance of the building permit.
51. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
52. Structural assessment shall be conducted by an architect, civil engineer, or structural engineer to ensure the existing partition walls and/or unit separation walls on the second floor to be removed are not part of the existing structural systems, including those designed to resist gravity and/or lateral loading. Otherwise, provide structural design drawings for the proposed structural alterations along with supporting calculations.
53. Structural assessment shall be conducted by an architect, civil engineer, or structural engineer to ensure the existing corridor was constructed with concrete partition walls and concrete ceiling at roof well. Otherwise, provide fire-resistance design for the corridor, including its walls and ceiling, to meet the current standards.

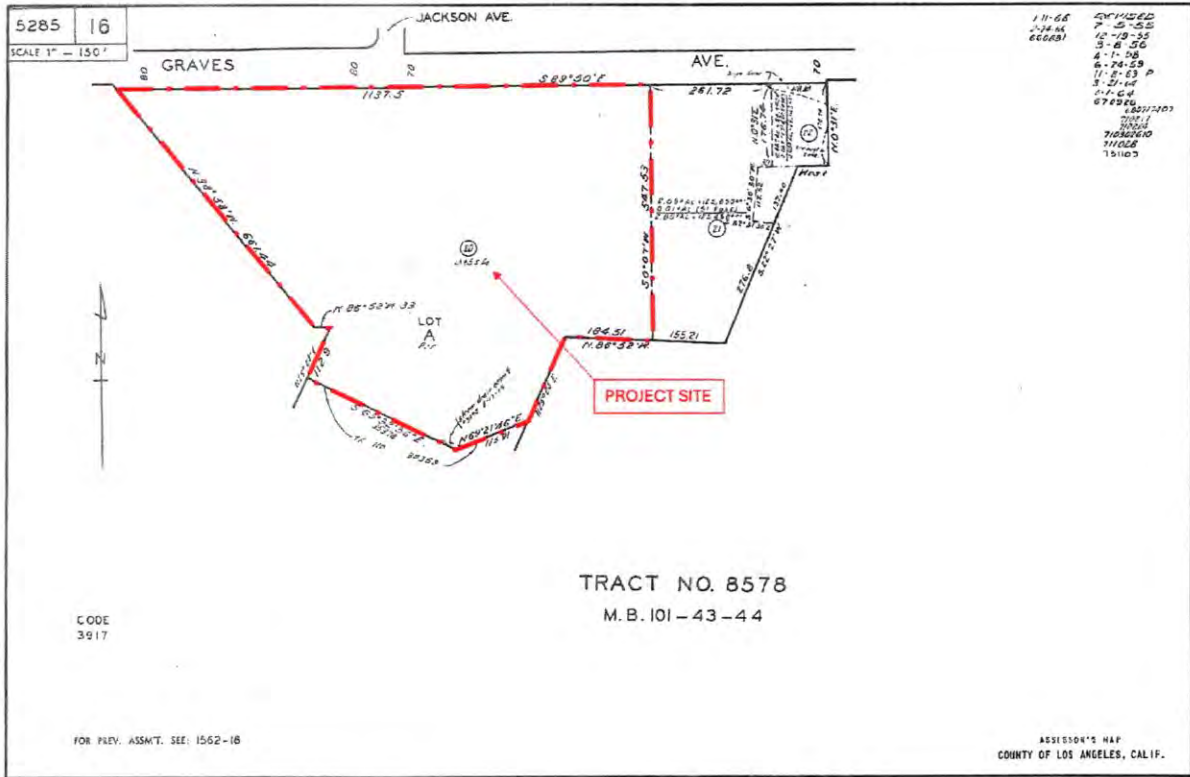
54. The hanging of new hard-lid ceiling shall not exceed the structural loading limitations per California Existing Building Code regarding prescriptive requirements for alterations. Otherwise, a structural analysis of existing building or portion thereof carrying additional loading is required.
55. The use of the building or portion thereof for (non-transient) transitional or supportive housing as defined by Government Code 65582 with more than 16 occupants shall be classified as Group R-2 Occupancy.
56. An allowable building area analysis shall be provided to justify the existing building qualifies as Type IIIB construction, having 2-hour fire-resistance rated exterior wall of non-combustible materials per the current code. Documentations shall be provided to validate that the existing building is fire-sprinklered with NFPA-13 system. Justifications shall also be provided that the allowable area for the most restrictive occupancy (A-3 in this case) complies.
57. New dwelling unit separation walls shall be constructed per Section 420.2 of the Building Code. Note the separation wall should be connected to a rated floor assembly or to be continuous down to the foundation.
58. Should the existing Laboure Hall be first constructed or preciously converted to an I-occupancy for use of childcare or orphanage, the exemption for housing accessibility per Section 1102A.2 of the Building Code does not apply. While the proposed conversion of a portion of existing sleeping rooms to R-2 occupancy itself does not trigger the housing accessibility requirements per Chapter 11A, the existing portion to remain as a public accommodation may be subject to on-going obligation to remove barriers under Title III of the American Disability Act. The regulations in Chapter 11B of the Building Code, including path of travel requirements, may apply to the alteration to the existing offices on the first floor.
59. Separate application and plan review is required for mechanical, electrical, and plumbing plans.
60. Project shall comply with the CalGreen Non-Residential mandatory requirements and CalGreen Residential mandatory requirements.
61. Where five or more multifamily dwelling units are constructed on a building site per Section 4.410.2 of the CalGreen Code, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of nonhazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.
62. All fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers

are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit.

63. A separate permit is required for Fire Sprinklers.



### EXHIBIT "F"





## Attachment C

# Planning Commission Minutes of September 16, 2024

**Minutes of the  
PLANNING COMMISSION MEETING**

**September 16, 2024**

The regular meeting of the Planning Commission was called to order by Chair Berry at 7:00 PM

**PLEDGE OF ALLEGIANCE** – Commissioner Ung

**INVOCATION** – Commissioner Lopez

**ROLL CALL** – Chair Berry, Vice-Chair Escobar, Commissioner Lopez, Commissioner Tang and Commissioner Ung are present.

**STAFF PRESENT** – Director of Community Development Valenzuela, City Clerk Hernandez, Assistant Planner Do, and Commission Liaison Lam

**ADMINISTRATION OF OATH OF OFFICE** – Commissioners Emma Escobar and Lana Ung

Chair Berry announced that the Oath of Office will begin for the Commissioners that have been reinstated.

City Clerk Hernandez administered the Oath of Office to Commissioner Escobar.

Commission Liaison Lam administered the Oath of Office to Commissioner Ung.

**REORGANIZATION** – Chair and Vice-Chair will be elected

Chair Berry commenced the process of electing a new Chair and Vice-Chair.

Chair Berry nominated Vice-Chair Escobar for Chair.

Commissioner Tang seconded the nomination.

Seeing no other nominations, Chair Berry called for a motion for Vice-Chair Escobar to be instated as Chair.

**ACTION:** Commission Liaison Lam took a verbal vote for the nomination for Commissioner Escobar as Chair.

**Vote Resulted in:**

Ayes: Berry, Escobar, Lopez, Tang and Ung

Noes: None

Abstain: None

Absent: None

**Roll call vote resulted in 5 Ayes, 0 Noes and 0 Abstain.**

Chair Berry nominated Commissioner Ung for Vice-Chair.

Commissioner Lopez seconded the nomination.

Seeing no other nominations, Chair Berry called for a motion for Commissioner Ung to be instated as Vice-Chair.

**ACTION:** Commission Liaison Lam took a verbal vote for the nomination for Commissioner Ung as Vice-Chair.

*Rosemead Planning Commission Meeting*

*Minutes of September 16, 2024*

**1 of 14**

Ayes: Berry, Escobar, Lopez, Tang and Ung  
Noes: None  
Abstain: None  
Absent: None

**Roll call vote resulted in 5 Ayes, 0 Noes and 0 Abstain.**

**1. EXPLANATION OF HEARING PROCEDURES AND APPEAL RIGHTS**

City Attorney Rachel Richman presented the procedure and appeal rights of the meeting.

**2. PUBLIC COMMENTS FROM THE AUDIENCE**

There being no comments, Chair Escobar opened and closed the Public Comment period.

**3. PUBLIC HEARINGS**

- A. PLANNED DEVELOPMENT (DP) 23-01** – Maryvale has submitted a Planned Development application, requesting to legalize and expand land uses consisting of transitional and supportive housing, mental health services, administrative services, early education, daycare, religious and institutional uses, and open space and recreational uses offered at 7600 Graves Avenue, thereby changing the permissible uses of the site. The project's scope of work entails tenant improvements to both the ground floor and second floor of Laboure Hall to adapt its previous use as an orphanage to transitional and supportive housing; these tenant improvements include, but are not limited to, the reconfiguration of existing kitchen spaces and conversion of dormitory-style suites with communal bathrooms to individual family suites with private bathrooms. No physical expansion of the existing buildings onsite is proposed as a part of the Planned Development application. Section 17.24.040(E) of the City of Rosemead's Municipal Code (RMC) states that "changes in the use shown in the Development Plan shall be considered in like manner as changes in the Zoning Map and shall be made in accordance with the procedures set forth in this Title, except such changes may be accomplished by a resolution rather than by ordinance." The site consists of one parcel (APN: 5285-016-020) that encompasses a total lot area of 594,594 square feet (13.65 acres) and is located at 7600 Graves Avenue in the Planned Development (P-D) zone.

**CEQA** – Section 15301 of the California Environmental Quality Act (CEQA) guidelines exempts projects falling under Class 1 Categorical Exemption are detailed in CEQA Guidelines Section 15301(a)-(p). P-D 23-01 qualifies as a categorical exemption, as it aligns with CEQA Guidelines Section 15301(a), which includes "interior or exterior alterations involving such things as interior partitions, plumbing, and electrical conveyances." Accordingly, P-D 23-01 is classified as a Class 1 Categorical Exemption pursuant to Section 15301 of the CEQA Guidelines.

**STAFF RECOMMENDATION** – It is recommended that the Planning Commission ADOPT Resolution No. 24-09 with findings (Exhibit “A”), recommending that the City Council adopt Resolution No. 2024-48 (Exhibit “B”) for the approval of Planned Development 23-01, subject to the 63 conditions.

Assistant Planner Do presented the staff report.

The applicant’s representative, Reuben Duarte, stated his name and introduced himself as the Director of Planning for the Somos Group of Los Angeles. Mr. Duarte gave his presentation.

Commissioner Berry asked if the applicant will be gaining or losing units by remodeling the building.

Mr. Duarte replied that they will essentially be losing more units because these units will be suites-like units.

Commissioner Berry asked Mr. Duarte to explain the benefits of these suite-like units rather than the dorm-like units.

The applicant’s President and CEO, Steve Gunther, stated his name. He explained that the program that they are looking to expand is called the Seton House program, a temporary housing program for single moms with small children. They are trying to create a suite with an attached bathroom to accommodate a small family during the time they are in the program. There will be five units in each wing, a total of twenty units in the building.

Commissioner Lopez asked how many the security officers are onsite.

The applicant’s Chief Financial Officer and Chief Operating Officer, Michael Couchman stated his name. He explained that staff perform security functions during business hours, and they have a roving security guard during after-hours and weekends.

Commissioner Lopez further asked if there are multiple security guards onsite, one patrolling the grounds and the other watching the surveillance videos.

Mr. Couchman replied that they have one security guard patrolling the grounds and watching the surveillance videos. The cameras are located throughout the campus. The security guard has a video monitoring wall, so they can review the footage for 90 days.

Commissioner Lopez asked in the past year if there has been any concerns of activities or incidents in that vicinity.

Mr. Couchman responded that there have been no incidents in the past year.

Commissioner Tang further asked if there is one security guard is onsite during normal business hours.

Mr. Couchman answered that the security officer is onsite during after-hours, such as nights, weekends, and holidays. During normal business hours, staff on campus acts as security.

Commissioner Tang asked if they had special events recently on campus.

Mr. Couchman replied that they had a special event this past Saturday, Harvest of Hope.

Commissioner Tang asked staff if Maryvale had to go through the standard permit process for a special event like any other businesses in the City.

Director Valenzuela responded that they do go through the same process. They did obtain a special event permit for their event that they recently had. In the future, it is conditioned that they must obtain a special event permit for these events.

Commissioner Tang asked Mr. Couchman to please clarify that Seton is a Program and an actual building facility itself.

Mr. Couchman replied that there are eleven buildings on campus, one of those buildings is for the Seton House program. There are nine rooms dedicated to that program.

Commissioner Tang asked if they are seeking to expand to Laboure Hall.

Mr. Couchman answered yes, it is a larger building.

Commissioner Tang asked Mr. Duarte to confirm that Laboure Hall could have up to twenty units.

Mr. Duarte confirmed that is correct.

Commissioner Tang commented that in Laboure Hall, occupancy is 374 potentially at its peak. How does 20 units accommodate for 374.

Mr. Duarte replied that Commissioner Tang may be referring to building code occupancy; how many people can fit inside the building. As in term of the units, it is intended for single mothers and their children.

Commissioner Tang asked staff if it is required to have a special certification or a special requirement from the State to operate as a mental health facility.

Attorney Richman replied that the application is not for a mental health facility necessarily, but if they do have that, they must require State approval and there are certain uses that would require licensing. She added it would not go through the City, but go through the State and potentially, it's the County that issues the permits.

Commissioner Tang further asked would the City need to put a condition if the applicant were to operate as a mental health facility, that they would have to obtain proper State permits to operate.

Attorney Richman responded that the City does have a condition that requires applicants to comply with all State, Federal, and local laws for any uses. They are aware that they must comply with all those laws and any uses that may occur.

Commissioner Tang asked if we could hear from the Sheriff's Team regarding incidents in the last three to four years near the vicinity or onsite.

Assistant Planner Do answered that Sergeant Perez was present to answer any questions the Commissioners may have. Staff also routed the plans to the Chief of Police, and he did not have any notable concerns. All the conditions are listed in the conditions of approval if that is what Commissioner Tang is asking.

Commissioner Tang replied that he did see the list of conditions and was just curious if they received any calls for any law enforcement service.

Assistant Planner Do replied that the Chief of Police did not state that they receive any calls, however, Sergeant Perez can clarify.

Sergeant Perez stated his name and that he was with the Temple City Station, Rosemead SAO Team. He joined the Rosemead SAO Team two years ago and has been with Temple City Station for three years. He said, in the last three years, we have not received any calls. He added, in checking the records, we did not receive any calls around the vicinity any more than the usual.

Commissioner Tang asked when Maryvale was operating at its peak, how many participants were onsite.

Mr. Gunther answered that he can only speak for the last 15 years, and they are licensed by community care licensing because they were serving minors. They were licensed up to 72 children during that time, in addition to the children enrolled in the early education programs.

Commissioner Tang further asked if the participants in the early education program were residing onsite.

Mr. Gunther replied that they were not residing onsite. These children were from the community and would arrive onsite during the day, Monday through Friday.

Commissioner Tang asked how many staff they would have onsite when they were operating at peak level.

Mr. Gunther responded that when they were operating the residential treatment program, they had about 100 residential staff. The ratio for that program was one staff to twelve and one to eight, clinical staff and directors. When they closed the program, they let go 150 staff.

Commissioner Tang asked what policies and programs are in place to monitor substance abuse.

Mr. Couchman replied that they have policies written in place regarding absences and disallowance on any substance abuse on campus and around the campus. Anyone that arrives on campus to the program intoxicated will be dealt with case-by-case basis; from medical attention to not being allowed on campus to participate in the programs.

Commissioner Tang further asked if there are any policies in place to hold accountability if the participants are abusing substance.

Mr. Couchman answered that the policies are program specific and if there are suspicions, Maryvale reserves the right to conduct random drug testing.

Commissioner Tang asked if it would be possible to allocate or preferable treatment for unhoused mothers with young children to Rosemead residents.

Mr. Couchman replied that this program is not "street to housing program". Maryvale works through other agencies and the participants are referred to the Seton House Program. They are looking for participants who have stabilized in the agency's programs and meet the criteria to qualify for the Seton House Program. They cannot reserve the spaces in the program for Rosemead residents.

Commissioner Tang commented that City of Rosemead has a homeless outreach program called LA CADA and one of the challenging issues that they expressed is the lack of vacancy. He wondered if that would be an easy solution to direct LA CADA to Maryvale.

Mr. Couchman responded that he would love to work with LA CADA and speak to them about their programs to see who may qualify and who is appropriate for their programs that they offer at Maryvale.

Commissioner Tang asked if the children go to school onsite or do they attend school in the local community.

Mr. Couchman responded for this program, they can cross-referral into early education program, if they are age eligible, which is from zero to five years old. If they are in elementary school, they can enroll them in their local schools, unless they are already involved in a school and their mothers wish to continue transporting them.

Commissioner Tang asked if they received feedback from these school districts.

Mr. Couchman replied that they have not received any feedback, positive or negative. They enroll like any community member and their parents participate in their education.

Commissioner Tang asked how these participants in these programs get to school at East Los Angeles College (ELAC).

The applicant's Co-Founder and Executive Director for End Homelessness, Mel Tilleveratne, stated his name. The transportation for these students is voluntary. They connect these students with ELAC or Pasadena City College (PCC), and they provide them with free TAP cards.

Commissioner Tang asked if the students have curfew.

Mr. Tilleveratne confirmed that these students do have a curfew. Their curfew is from Sunday through Thursday night from 10:00 p.m. to 6:00 a.m.

Commissioner Tang commented and asked if they are allowed one year stay, plus three six-month extensions, contingent on performance. He questioned what would occur after the two and a half years.

Mr. Tilleveratne explained these students that are in the program were able to transfer to a four-year university.

Commissioner Tang asked if they keep in contact with these students.

Mr. Tilleveratne answered that they do keep in contact with these students and there are students here tonight. He further explained that they not only encourage academics, but also encourage employment that will allow these students to live independently.

Commissioner Tang asked if they have a one hundred percent success rate.

Mr. Tilleveratne replied that they would not say they have a one hundred percent success rate, but they do have a good success rate. Some of the students are not able to transfer to a four-year university, therefore, they have extensions in place. They also have explored the option of a trade school if a four-year university is not a fit for the students.

Commissioner Tang asked if there are metrics in place to determine if these students are on track.

Mr. Tilleveratne responded that they do have a system in place to gauge every student weekly. The students are also submitting assignments weekly on how many hours of work they are performing a week.



Commissioner Tang asked the applicant about the noticing outreach, since they extended the notice of the hearing to a 500-foot radius and questions the number of households reached.

Mr. Duarte replied that he did not know how many households it reached, but he can find out.

Commissioner Tang asked how many doors they canvased.

Mr. Duarte answered that he did not know the exact number, but he believed it would be in the dozens.

Commissioner Tang commented that he has heard from several constituencies that they could not be here tonight because they were not aware of this public hearing. He further added that it is not per the City code, but since this project is more sensitive, it warrants a greater engagement with the local community, so that they also have a voice in this matter.

Mr. Duarte agreed that they could look into supplementing the notification efforts.

Commissioner Ung asked if the funding that they received from HUD is that primarily going towards the remodel of Laboure Hall or to be used for maintenance.

Mr. Duarte replied that the HUD Grant is for the remodel of Laboure Hall.

Commissioner Ung asked if the funds would be sufficient or would they be expecting to receive other types of funding. She also questioned if the project would need to be phased.

Mr. Gunther answered that they received a combination of funding that Congresswoman Chu has obtained for Maryvale. Some are from their own fundraising, and some are from reserves that they have set aside. They do have the funds in place, so that if they receive the final approval and the permits, they will be ready to begin the project.

Commissioner Ung asked with the change of use of the building, how often do they expect the program to last since the impetus change land use.

Mr. Gunther expressed that the intention of the program is to meet the need of the community and there is a significant need in the community. They are focusing on a particular population in the community, so they do not see an immediate change coming soon. They believe that the application is intended to allow changes, and some things need to be changed to meet the need of the community.

Commissioner Ung asked if the building improvements will impact the parking at Maryvale.

Mr. Gunther answered that they have plenty of parking spaces; they have 167 parking spaces on campus.

Commissioner Ung asked if the new units be accessible or will they be primarily non-accessible.

The applicant's architect, David Goodale, stated his name. He responded that these units are not accessible because these units are renovations, and they are not required. However, there are accessible public bathrooms.

Commissioner Ung asked Mr. Goodale questioned if the Federal funding coming from HUD, would require the units to be accessible.

Mr. Goodale confirmed that it is not required.

Commissioner Ung asked if there are other transportation services that the campus provides for these mothers if they have jobs or after school programs for their children.

Mr. Couchman replied that depending on the program and the current program, many of these mothers have their own vehicles. If not, Maryvale connects them to public transportation and in certain cases, they offer services such as Uber or Lyft.

There being no further comments or questions, Chair Escobar opened the floor for the Public Testimony.

Rosemead resident, Courtney Ta, stated her name and address. She said that she was not informed about this meeting until two hours ago. She is concerned about this project and the possible influx of crime rates in the community. She further expressed that homelessness is a multi-faceted factor with mental health issues, and mental health services is provided at the facilities. She added that there is a question of relapse, and it would take a toll on the residents. In the City of Rosemead, we are sharing the Sheriff's Department with the residents of Temple City.

Rosemead resident, Lisa Chan, stated her name and address. She also indicated that she was not notified about this public hearing until about two hours ago. She said she notified her neighbors about this meeting, so they can also be here tonight. She informed the Commissioners that she will be translating for her neighbors, since they do not speak English too well. She stated that she also worked for a government agency, CalWORKs, so she does deal with a lot of participants who are gang affiliated and they also have mental health programs. She expressed that she loves Rosemead, and she has been a resident for over 30 years. She has contacted the Sheriff's Department numerous times over the years and there is always police activity by Maryvale. She has cameras installed at her home and she has surveillance videos of these young girls walking past her home or being very loud outside her home at 3:00 am. She further added that she recently placed an advertisement for a unit available and the person who responded to the advertisement was a Maryvale participant. The participant expressed to her that she wants to leave because the environment at Maryvale was chaotic. She has recently contacted Public Works and the Sheriff's Department because of the rising numbers of trash dumped in front of her home from transients. She expressed that Asian Community is afraid to contact the police and she has explained to her neighbors that it is important to voice your opinions because many of the Asian Community are not aware of this project; they are opposing this expansion at Maryvale. She further expressed her concerns about security at Maryvale because there is only security during the weekends and afterhours.

***The following comments are professionally transcribed from Cantonese to English:***

Wang Huan Lai: I'm living in the 2459 Stevens Avenue, Rosemead, California 91770, but my English is not good only with... My name is Wong Huan Lai.

Mrs. Chan: you say your name, you say your name. Say it to me, and I will say it to them for you.

Mrs. Lai: I... I'm very concerned about the safety in our community, which is getting worse right now. The situation is we have kids at home... and we're afraid that if there are homeless people living nearby, their presence... being so close, when we go in and out of our homes... will impact our lives.

Mrs. Chan: Okay, so what she was saying is that she was very nearby Maryvale. And she has kids, and you know with you know, the rise of homelessness and all these, you know, crimes, mainly is the crimes that they're worried about, right? And a lot of these... I'm going to try to rephrase... paraphrase, is that her concern is that they go in and out and you know, she is very nearby there. She's not even aware about this expansion and she's very concerned. And many of us have been in the city of Rosemead for decades. We don't want to have to move because of this situation. We are very concerned; we love our city. And as it is right now, there's nothing we can do. But now to

expand it, it's a very concern for her, living there as a resident. And that's what she is concerned about. And especially the mental health and all these, because you know that it's a multifaceted that you guys mentioned earlier, many of these folks have a lot of issues and they have domestic violence boyfriends and things...

Mrs. Chan said that she is paraphrasing. She translated to Mrs. Lai that she is telling them that there are many homeless people, and there are some husbands because they are all moms... (inaudible) so you... and you told them... you say it to me, what concerns you the most about those people living there.

Mrs. Lai: So we now have a safety issue in the area, with many strangers lingering around, and we are very worried.

Mrs. Chan: Um, she is saying that, again, as I said earlier, that she's very concerned about the safety because lately she's been seeing more and more stranger people walking through the neighborhood. I'm just translating that...

Mrs. Chan: OK, do you have more to say? Ask these ladies if they have anything else to say? You guys need to come up, if you don't you won't have a chance to speak. Say your name and your address. Most importantly, say your name. You say you're...

Mei Lai: My name is Mei Lai, the address is 7539 Garvalia Avenue, Rosemead.

Mrs. Chan: So, what worries you now?

Mrs. Mei Lai: I am worried about the safety... and those people, bad people hanging around in our neighborhood, yeah.

A person in the room asked if this is an official translator. I understand that, but it seems she is organizing and bringing in people.

City Attorney Richman: Yes? It does not have to be an official translator under the Brown Act, but she can translate for this person. Yes. She can absolutely offer to people who are not comfortable speaking in English. I... it's very important that those people understand that they can make a public comment, and this is a public hearing, so it's very important we get whatever testimony is here. We won't be disqualifying anybody just because she's asking them in a different language. Thank you.

Mrs. Chan: Lost my train of thought. Okay, so same thing. She was concerned. She's also a resident of Rosemead, and that you know, she's concerned for safety, and also a lot of, you know, stranger people that are just... hang around the neighborhood, especially where we're at. And it's true, because I live near there too.

Mrs. Chan: so, you worried about those people hanging around, right?

Mei Lai: Yes, and there are times when we go to work and nobody's home, we worry about being burglarized and things like that.

Mrs. Chan: Okay... Okay? So she's saying that, you know, there are times they go to work, they're not home, and they're concerned that, you know, the house will be burglarized or breaking into.

#### **End of Translation.**

City Attorney Richman explained that there are public speakers that filled out speaker request forms, and the Chair will call up members of the public to speak to have order in this meeting. When the Chair calls up someone to speak and they would like assistance, that is when Mrs. Chan will translate. Mrs. Chan does not decide who comes up to speak.

A former Maryvale participant, Kalei Gray, stated her name and address. She expressed that she benefited greatly from this program. This program provided her with trust, stability, and mental health services that has changed her and her son's life for the better. Maryvale provided her with life skills, so she was able to build and secure home for her son. Her son is enrolled at Maryvale's preschool, and he has benefited immensely through this program. In March of 2024, she was employed by Maryvale as a teacher's aide on campus. She added that she was a former participant in this program and students are not allowed to be outside of the campus at 3:00 a.m. There is a strict curfew to be home at 10:00 p.m.

Case Manager for Hope Housing for Students, Sage Moloney, stated his name and address. He stated that having their basic needs being met such as food and shelter, they can safely discover who they are and what their values are. He works with these students every day, and these students have shown tremendous growth that cannot be measured. He also added that there are students who are not the traditional success story of transferring to a four-year college, but who has shown so much growth through this program.

Mr. Tillekeratne stated that he understands the concerns of the residents of the community. Maryvale does provide trash service on campus, so there is no reason why these students would take their trash outside of the campus. He added, he has been working with this program for two years, these programs are difficult to be accepted into. In this program, the students must maintain a 2.0 GPA average while working 15 hours per week. Mr. Gunther and Mr. Couchman's students are single mothers who are in a program to find Section 8 housing; they would not jeopardize this opportunity. He also added that when you give a person a purpose, you give them a reason to stay in a program. They have strict programs because they hold them accountable. These students want to better themselves and their children. The expansion of the program will not impact the community negatively.

A student from Hope Housing for Students, Gisell Muniz, stated her name. She confirmed that the programs are very difficult to qualify for and to be accepted into the program. She applied four times for Hope Housing for Students, and she was finally accepted on her fourth attempt; she has been in this program for one year. She confirmed that they consistently check-in with the student's grades and work hours. She expressed that being an immigrant in America is already difficult because of the language barrier and that it has also made her feel isolated. These programs gave her confidence because she was part of a community that provided her guidance.

A student from Maryvale, Pamela Hernandez, stated her name and address. She is a student that has living been on campus for the past six months; she never seen suspicious activities or felt like she was in danger. She is grateful to be in the program because they provide her with tutoring for her classes and mental health services. She confirmed that they do have chores, and they do have curfew. She added that they have weekly meetings with their Case Managers.

A previous student from the Hope Housing for Students, Faith Buice, stated her name and address. She is one of the students that recently moved out. She confirmed that this program has helped her tremendously with her confidence and confirmed that they do weekly check-ins with the Case Managers to ensure they are on track to achieving their goals. Not only do they provide food and shelter, but this program also created a community that allows the students to have the space to develop and grow. She fully supports this project and believes that this program will be a great benefit for single mothers.

Executive Director for San Gabriel Valley Consortium on Homelessness, Scott Chamberlain, stated his name and address. He works with the entire region to address and educate the communities to find a solution. The communities that implement their conference of development plans, housing elements, and building out RHNA numbers that are required by the State; those are the cities that are successful and can address their unhoused population. These communities provide options for permanent housing, built outs for the market rate and have affordable rate. Maryvale has been operating successfully for decades, in the similar number when they had residential care. From a permanent

perspective, it is not a massive expansion; it is a whole development plan that they are able to continue operating successfully. He added that when cities implement this program, the City are economically successful. The City will see less unhoused families and individuals in the community because there are options. He encourages the City to support this development.

A therapist from Maryvale, Lynn Tansey, stated her name and address. She believes that residents and Maryvale have a lot in common; they want to get people off the streets. She interviews candidates for these programs, and they do not admit anyone who is a drug addict because they want to be sure that they will be successful. She shared two success stories of the students in the program.

Client Advocate and Board Member of Guadalupe Pregnancy Services, Judith Seki, stated her name and address. She explained that they service mothers and babies from pregnancy until the child is three years old. They provide counseling services, education, community resources, and provide them with baby supplies free of charge. Majority of their clients reside in Maryvale, and the participants speak very highly of Maryvale. She can see how much progress these young mothers had made through the programs that they offer at Maryvale. She added that Maryvale wants to modify and improve their programs accordingly to accommodate with the modern times and she fully supports it.

A student from Hope Housing for Student in Los Angeles, Daniel Hernandez, stated his name and address. He expressed how much this program has helped him; how has the staff goes above and beyond their job description. Because of these programs he is employed, he is in the process of moving out, and he can focus on school uninterrupted. He asked the Commissioners to keep in mind while they deliberate that this program has such a positive impact on his life and everyone else in the program.

Rosemead resident, Lan Bui, stated her name and address. She commented that she used to go to Maryvale for Sunday Mass, and she loved it. She is aware of the programs at Maryvale, but she does not know the details of the programs that they offer there. She was not aware of this meeting and their plans of the expansion until her neighbor notified her. She further commented that if they community is not aware and they do not know enough about the project, the community will oppose the project, especially if the project is about a homeless shelter or housing; the residents will be concerned about their safety. She understands that Maryvale has great programs for helping young girls and young mothers, but the community does not know enough about Maryvale.

A member of the Rosemead Chamber of Commerce, Ray Jan, stated her name and address. She commented that residents do have right to be concerned about their safety for families. She expressed that the business community feels that they do not have a voice, but they do. These businesses invested their time and money into the City, and they want it to grow. She added that perhaps in the future, Chamber of Commerce will work with Maryvale to start a job training program for these young ladies to apply for jobs with local businesses in the community; it would have a positive impact in the City.

Chair Escobar closed the public hearing.

Commissioner Lopez asked can any of the participants leave the campus easily after 10:00 p.m.

Mr. Gunther replied that the mothers are responsible for their children, so they are not going to be out after curfew. It is a set curfew, failure to comply to program requirements leads to dismissal from the program.

Commissioner Lopez confirmed that Maryvale is providing a secured place, and it would be foolish for these participants to not comply because it will jeopardize their future.

Commissioner Tang stated for full transparency, that he did meet with Maryvale one on one, because he could not make it to the open house, and he wanted to learn more about Maryvale. He wanted to be educated as much as possible to be able to make the right decision for the community. He added since residents are uneasy with the expansion of Maryvale, he wonders if Maryvale can conduct meetings to inform the residents about their programs to assure them that they have proper security in place. He asked if the other Commissioners are open to tabling the project so that it will provide an opportunity for the residents and Maryvale to find a mutual solution. He also asked City Attorney Richman if the City put a six-month review, since this project is such a sensitive use. During that time, the City could see how the project is impacting the community.

City Attorney Richman answered that the City always has the ability, and it is stated in the conditions to review a project. Recently, the City had the Friendly Inn placed under a six-month review. Once there were issues with Friendly Inn, staff brought the project in for a hearing, and that is when they began the six-month review. Typically, the City would allow the applicant to meet its conditions before requiring a review. She added, if there are problems, staff will bring the applicant in for a revocation hearing, amending the conditions and adding the six-month review condition.

Commissioner Tang commented that the City has placed a six-month review before and after businesses has been approved.

Director Valenzuela responded that it's not common, unless issues with the business have existed.

Commissioner Tang is requesting to table the project because the community needs more time to understand this project and to discuss further with the Planning Commissioners.

Vice Chair Ung commented that part of the problem is that there is immigrant population in the community, and they may have not read the notices or answered the doors. It may be hard for the residents to understand what the program is about. After hearing the testimonies from current participants and past participants on how much these programs have changed their lives for the better and how these programs are difficult to get into, she does not want to table the project. Tabling it will not change her prospective and believes it is a positive addition to the City.

Commissioner Lopez agreed that it is unnecessary to table the project now. If there is an issue in the future, the City will hold another meeting with Maryvale. He understands the concerns with the community and suggested that Maryvale invite the community into the campus to show what the programs are about.

Commissioner Berry asked staff if notices that the City sends out are available in different languages.

Assistant Planner Do replied that the notices are available in English, Spanish, Vietnamese and Chinese.

Commissioner Berry asked if the notices can be sent out electronically and if the Agenda goes out in different languages.

Director Valenzuela responded the Agenda does not. However, over the last few years, the notices have been sent out in different languages. Originally the notices were just in English, but as directed by the City Council, the notices are now translated in Spanish, Vietnamese, and Chinese. The notices are also posted on the City website and mailed out in all four languages.

Commissioner Berry asked if there is an option on the City website to navigate in multiple languages.

Director Valenzuela answered that there is an option on the website to alter languages.

Commissioner Berry wanted to confirm that Maryvale is not expanding the building but remodeling the building and reducing the number of units there. He added that the number of occupancies in the building will remain the same or less; not necessarily an expansion of the lot that more people will be on campus. Commissioner Berry stated how important these programs are and most of these participants do not have any kind of help or anywhere to go. He further expressed how critical it is to educate these participants and perhaps they will become residents and employees of the City to contribute back to the overall wealth and well-being of the City.

There being no additional questions or public comments, Chair Escobar closed the hearing period and requested a motion and a second motion.

**ACTION:** Commissioner Berry motioned to approve the project and Commissioner Lopez seconded the motion.

**Vote resulted in:**

Ayes: Berry, Escobar, Lopez, and Ung  
Noes: None  
Abstain: Tang  
Absent: None

**Vote resulted in 4 Ayes, 0 Noes, and 1 Abstain, 0 Absent.**

#### **4. CONSENT CALENDAR**

##### **PC MINUTES 08-05-24**

Chair Escobar requested motions to approve the minutes.

**ACTION:** Commissioner Berry motioned to approve, and Commissioner Lopez seconded the motion.

**Vote resulted in:**

Ayes: Berry, Escobar, Lopez, Tang and Ung  
Noes: None  
Abstain: None  
Absent: None

**Vote resulted in 5 Ayes, 0 Noes, and 0 Abstain, 0 Absent.**

#### **5. MATTERS FROM STAFF**

Director Valenzuela updated the Commissioners on the Rosemead Place Signage; the signage will be repaired by this week.

Commissioners Tang asked if the City could help the owners with their signage, if there are funds available to help the owner with their signage maintenance.

Director Valenzuela replied the owner takes full responsibility of the maintenance of the signage on the property. The owner has not asked for any assistance. The owner is looking at different options that to mitigate the issue, however, the issue is the height and the type of signage. It is very costly to make the modifications.

Commissioner Berry asked who the owner of the property is.

Director Valenzuela replied that it belongs to a private developer, they are managed by Beacon Properties.

## 6. MATTERS FROM THE CHAIR & COMMISSIONERS

Vice-Chair Ung asked if there are any major Public Works projects happening or any future for one.

Director Valenzuela responded that she does not have the list with her, but she can email the Commissioners with that information.

Commissioner Lopez congratulated the Chair Escobar and Vice Chair Ung on their new positions.

Commissioner Berry congratulated Chair Escobar and Vice Chair Ung as well.

Chair Escobar thanked staff for all their hard work.

## 7. ADJOURNMENT

Chair Berry adjourned the meeting at 8:40 p.m. The next Planning Commission Meeting is scheduled for October 7, 2024, at 7:00 PM in the Council Chambers.

ATTEST:

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Emma Escobar  
Chair

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Linda Lam  
Administrative Assistant





## Attachment D

Planning Commission  
Resolution No. 24-09

**EXHIBIT "A"**

**PC RESOLUTION 24-09**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROSEMEAD, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, RECOMMENDING THE CITY COUNCIL APPROVE PLANNED DEVELOPMENT 23-01 FOR THE LEGALIZATION AND INTENSIFICATION OF LAND USES CONSISTING OF TRANSITIONAL AND SUPPORTIVE HOUSING, MENTAL HEALTH SERVICES, ADMINISTRATIVE SERVICES, EARLY EDUCATION, DAYCARE, RELIGIOUS AND INSTITUTIONAL USES, AND OPEN SPACE AND RECREATIONAL USES IN CONJUNCTION WITH THE RENOVATION OF LABOURE HALL FOR TRANSITIONAL AND SUPPORTIVE HOUSING. THE SUBJECT SITE IS LOCATED AT 7600 GRAVES AVENUE (APN: 5285-016-020) IN THE PLANNED DEVELOPMENT (P-D) ZONE**

**WHEREAS**, on July 17, 2023, Maryvale submitted a Planned Development application, requesting approval for the legalization and intensification of land uses consisting of transitional and supportive housing, mental health services, administrative services, early education, daycare, religious and institutional uses, and open space and recreational uses in conjunction with the renovation of Laboure Hall for transitional and supportive housing located at 7600 Graves Avenue; and

**WHEREAS**, 7600 Graves Avenue is within the Planned Development zone; and

**WHEREAS**, Rosemead Municipal Code Sections 17.24.040 and 17.152.060(B) provide the criteria for a Planned Development; and

**WHEREAS**, Sections 65800 and 65900 of the California Government Code and Rosemead Municipal Code Sections 17.152.040 and 17.152.050 authorize the Planning Commission to forward a written recommendation, and reasons for the recommendation, to the City Council whether to approve, approve in modified form, or deny the proposed amendment. Upon receipt of the Planning Commission's recommendation to approve, or approve in modified form, the proposed amendment, the City Council shall conduct a public hearing and either approve, approve in modified form, or deny the proposed amendment based on the findings; and

**WHEREAS**, on September 5, 2024, 125 notices were sent to property owners within a 300-foot radius from the subject property, the notice was published in the Rosemead Reader, and the notice was posted at six public locations and on-site, specifying the availability of the application along with the date, time, and location of the public hearing for Planned Development 23-01 pursuant to California Government Code Section 65091(a)(3); and

**WHEREAS**, on September 16, 2024, the Planning Commission held a duly noticed and advertised public hearing to receive oral and written testimony relative to Planned Development 23-01; and

**WHEREAS**, the Planning Commission has sufficiently reviewed City staff reports and attachments, considered all written and oral testimony presented to them, and deliberated among each other in order to make the following recommendations.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Rosemead as follows:

**SECTION 1.** The Planning Commission HEREBY RECOMMENDS to the City Council that Planned Development 23-01 is classified as a Class 1 Categorical Exemption pursuant to Section 15301 of the California Environmental Quality Act Guidelines. Section 15301 of the California Environmental Quality Act Guidelines exempts projects that encompass "interior or exterior alterations involving such things as interior partitions, plumbing, and electrical conveyances."

**SECTION 2.** The Planning Commission HEREBY FINDS AND DETERMINES that facts do exist to justify recommending to the City Council approving Planned Development 23-01 in accordance with Rosemead Municipal Code Sections 17.24.040 and 17.152.060(B) as follows:

**FINDING 1:** The proposed amendment is consistent with the General Plan and any applicable specific plan.

**FACTS:** The subject site is designated Public Facilities in the General Plan and Planned Development on the Zoning Map. As defined in the General Plan, the Public Facilities designation applies to "those land uses that are operated and maintained for public benefit. Public facilities include educational facilities, parks, utilities, and buildings or areas that support government activities. This land use category also includes quasi-public uses such as private utilities easements, private schools, and institutional activities." Correspondingly, Maryvale's longstanding presence since 1953 prior to the City's incorporation in 1959 and its historical role as an educational facility and facility that supports governmental and institutional activities align with its Public Facilities designation. Moreover, according to the "General Plan and Zoning Ordinance Consistency" table in the General Plan, the P-D zone is a corresponding zone district to residential land use designations: Low Density Residential, Medium Density Residential, and High Density Residential. Residential uses are permitted in the P-D zone with the approval of the City Council. As such, the proposed amendment, particularly the legalization and intensification of transitional and supportive housing, is consistent with the General Plan.

**FINDING 2:** The proposed amendment will not be detrimental to the public interest, health, safety, convenience, or welfare of the City.

**FACTS:** Planned Development 23-01 does not adversely affect the adjoining land uses of the area in which the subject site is within, given the established presence of

Maryvale since 1953 prior to the City's incorporation. Although unpermitted, the Seton House program and Hope Housing for Students program have provided temporary housing to mothers and their children since 2022 and female college students attending East Los Angeles College since 2021, respectively. As such, the proposed uses are in a similar manner as Maryvale's current uses. Furthermore, the support services offered by both programs are confined to program participants and do not extend beyond said participants. Moreover, the proposed scope of work to increase the occupancy of the Seton House program is low in impact. The intensification of the program only consists of capital improvements to Laboure Hall, an existing and vacant building. Laboure Hall is of sufficient size to accommodate the full development of the program without any physical expansion. Similarly, the religious and institutional uses, though also unpermitted, have been in operation for more than a decade. Legalizing the religious and institutional uses maintains a sense of continuity for both residents and visitors. The use is also expected to have minimal impacts, as public worship services are no longer held.

The existing land uses of mental health services and early education at Maryvale are also unpermitted but serve as resources that positively affect the overall well-being of the community. By offering mental health services in the community, residents have easier access to professional assistance. Mental health services directly and indirectly mitigate crime and substance abuse and, in turn, enhance public safety and welfare. Relatedly, early education positively provides children with cognitive, social, and emotional stimulation during their formative years.

Planning staff have worked with the Chief of Police to incorporate conditions of approval that consider the health, safety, and welfare of the City. This includes conditions pertaining to consistent referral processes for all referrals, including self-referrals, noise limitations, occupancy regulations, and drug-free policies. Specifically, Maryvale stresses their commitment to maintaining a drug- and alcohol-free campus for all programs held on the premises per their drug-free policy. To uphold their commitment, Maryvale prohibits the use, sale, purchase, possession, or distribution of any drugs or controlled substances by all staff, residents, and visitors. Maryvale enforces a zero-tolerance policy, addressing any violations or convictions promptly. Disciplinary actions may include removal from the premises and, if necessary, involvement of law enforcement.

Moreover, Planned Development 23-01 is deemed to have minimal environmental impact and thus is categorically exempt from the full environmental review process required by the California Environmental Quality Act (CEQA). The project is classified as a Class 1 Categorical Exemption pursuant to Section 15301 of the CEQA Guidelines, as it involves "interior or exterior alterations involving such things as interior partitions, plumbing, and electrical conveyances." Accordingly, under the conditions imposed, the proposed amendment is not detrimental to the public interest, health, safety, convenience, or welfare of the City.

**FINDING 3:** The affected site is physically suitable in terms of design, location, operating characteristics, shape, size, topography, and the provision of public and emergency vehicle access, and public services and utilities and is served by highways and streets adequate in width and improvement to carry the kind and quantity of traffic

the proposed use would likely generate, to ensure that the proposed use(s) and/or development will not endanger, jeopardize, or otherwise constitute a hazard to the property or improvements in the vicinity in which the property is located.

**FACTS:** Traffic generated by Planned Development 23-01 does not impose an undue burden upon the highways and streets in the area, as all participants of the proposed use of transitional and supportive housing under the Seton House program and Hope Housing for Students program will reside on campus. Similarly, the proposed use of mental health services has been in existence at Maryvale and has not presented any notable problems concerning traffic. Services are available daily from 8:00 a.m. to 10:00 p.m. on campus, but most consultations occur off campus at clients' homes or online, alleviating on-campus traffic congestion. While religious and institutional uses may occasionally attract higher volumes of vehicles for events, such as funerals, blood drives, and fundraisers, a condition of approval has been added to ensure that the Applicant obtain all necessary permits, including Temporary Use Permits and Special Event Permits, as specified in Rosemead Municipal Code Chapter 17.124. The existing number of off-street parking spaces at Maryvale is proposed to remain unchanged.

The Public Works Department has reviewed the scope of work and found no significant concerns with the proposed scope of work. Conditions of approval have been incorporated to address street infrastructure, including the removal and replacement of off-grade curb and gutter and the fill and redirection of existing weep holes within the block wall along Graves Avenue.

**SECTION 3.** The Planning Commission HEREBY RECOMMENDS CITY COUNCIL APPROVAL of Planned Development 23-01 for the legalization and intensification of land uses consisting of transitional and supportive housing, mental health services, administrative services, early education, daycare, religious and institutional uses, and open space and recreational uses in conjunction with the renovation of Laboure Hall for transitional and supportive housing.

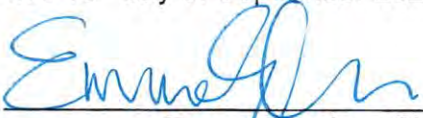
**SECTION 4.** This action shall become final and effective ten (10) days after this decision by the Planning Commission, unless within such time a written appeal is filed with the City Clerk for consideration by the Rosemead City Council as provided in Rosemead Municipal Code, Section 17.160.040 – Appeals of Decisions.

**SECTION 5.** This resolution is the result of an action taken by the Planning Commission on September 16, 2024, by the following vote:

**AYES:** BERRY, ESCOBAR, LOPEZ, AND UNG  
**NOES:** NONE  
**ABSTAIN:** TANG  
**ABSENT:** NONE

**SECTION 6.** The Secretary shall certify to the adoption of this resolution and shall transmit copies of same to the applicant and the Rosemead City Clerk.

**PASSED, APPROVED, and ADOPTED** this 16<sup>th</sup> day of September 2024.

  
\_\_\_\_\_  
Emma Escobar, Chair

### **CERTIFICATION**

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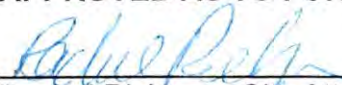
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I hereby certify that the foregoing is a true copy of a resolution adopted by the Planning Commission of the City of Rosemead at its regular meeting, held on the 16<sup>th</sup> day of September 2024, by the following vote:

**AYES:** BERRY, ESCOBAR, LOPEZ, AND UNG  
**NOES:** NONE  
**ABSTAIN:** TANG  
**ABSENT:** NONE

  
\_\_\_\_\_  
Lily Valenzuela, Secretary

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Rachel Richman, City Attorney  
Burke, Williams & Sorensen, LLP

**ATTACHMENT "A"**  
**(PC RESOLUTION 24-09)**

**PLANNED DEVELOPMENT 23-01**  
**7600 GRAVES AVENUE**  
**(APN: 5285-016-020)**

**CONDITIONS OF APPROVAL**  
**SEPTEMBER 16, 2024**

**Standard Conditions of Approvals**

1. Planned Development 23-01 ("Project") is approved for the legalization and intensification of land uses consisting of transitional and supportive housing, mental health services, administrative services, early education, daycare, religious and institutional uses, and open space and recreational uses offered at 7600 Graves Avenue, thereby changing the permissible uses of the site. Additionally, the Project is approved for tenant improvements to both the ground floor and second floor of Laboure Hall to adapt its previous use as an orphanage to transitional housing in accordance with the plans marked Exhibit "C," dated August 26, 2024. Any revisions to the approved plans shall be resubmitted for the Planning Division's review and, if satisfactory, approval.
2. The following conditions must be complied with to the satisfaction of the Planning Division prior to final approval of the associated plans, building permits, occupancy permits, or any other appropriate request.
3. The conditions listed on this exhibit shall be copied directly onto any development plans subsequently submitted to the Community Development Department.
4. Approval of Project shall not take effect for any purpose until the applicant(s) have filed with the City of Rosemead ("City") a notarized affidavit stating that he/she is aware of and accepts all of the conditions of approval as set forth in the letter of approval and this list of conditions within ten (10) days from the City Council approval date.
5. The on-site public hearing notice posting shall be removed by the end of the 10-day appeal period of Project.
6. This approval is effective for a period of two (2) years. The applicant(s) shall commence the approved project or request an extension within 30 calendar days prior to expiration. The two (2) year initial approval period shall be effective from the City Council approval date. For the purpose of this petition, project commencement shall be defined as beginning the permitting process with the Community Development Department, or the commencement of land use activity and operations in the case where no permits are required, so long as the project

is not abandoned. If Project has been unused, abandoned, or discontinued for a period of two (2) years, this approval shall become null and void.

7. The City Council hereby authorizes the Planning Division to make and/or approve minor modifications to the Project and to these conditions of approval.
8. Project is granted or approved with the City and its City Council retaining and reserving the right and jurisdiction to review and to modify the permit, including the conditions of approval based on changed circumstances. Changed circumstances include, but are not limited to, the modification of the use, a change in scope, emphasis, size, or nature of the use, or the expansion, alteration, reconfiguration, or change of use. This reservation of right to review is in addition to, and not in lieu of, the right of the City and its City Council to review and revoke or modify any permit granted or approved under the Rosemead Municipal Code for any violations of the conditions imposed on Project.
9. The applicant(s) shall defend, indemnify, and hold harmless the City of Rosemead or its agents, officers, and employees from any claim, action, or proceeding against the City of Rosemead or its agents, officers, or employees to attack, set aside, void, or annul, an approval of the City Council concerning the project, which action is brought within the time period provided by law.
10. The applicant(s) shall comply with all Federal, State, and local laws relative to the approved use, including the requirements of the Planning, Building, Fire, Sheriff, and Health Departments.
11. Building permits will not be issued in connection with any project until such time as all plan check fees and all other applicable fees are paid in full. Prior to issuance of building permits, any required school fees shall be paid. The applicant shall provide the City with written verification of compliance from the applicable school districts.
12. The numbers of the address signs shall be at least six (6) inches tall with a minimum character width of 3/4 inch, contrasting in color and easily visible at driver's level from the street. Materials, colors, location, and size of such address numbers shall be approved by the Community Development Director, or his/her designee, prior to installation.
13. The hours of construction shall be limited from 7:00 a.m. to 8:00 p.m., Monday through Saturday. No construction shall take place on Sundays or on any federal holiday, without prior approval by the City. The applicant shall abide by the noise control sections of the Rosemead Municipal Code.
14. The Community Development Department and Public Works Department shall have access to the project site at any time during construction to monitor progress.



15. All requirements of the Community Development Department and Public Works Department shall be complied with prior to the final approval of the proposed construction.
16. All ground/roof level mechanical/utility equipment (including meters, back flow prevention devices, fire valves, A/C condensers, furnaces, and other equipment) shall be located away from public view or adequately screened by landscaping or screening walls so as not to be seen from the public right-of-way.
17. The applicant(s) shall keep the electrical and mechanical equipment and/or emergency exits free of any debris, storage, furniture, etc., and maintain a minimum clearance of five (5) feet.
18. The site shall be maintained in a clean, weed, and litter free state in accordance with Sections 8.32.010-8.32.040 of the Rosemead Municipal Code, which pertains to the storage, accumulation, collection, and disposal of garbage, rubbish, trash, and debris. All trash containers shall be stored in the appropriate trash enclosure at all times. All trash, rubbish, and garbage receptacles shall be regularly cleaned, inspected, and maintained in a clean, safe, and sanitary condition.
19. Violations of the conditions of approval may result in citation and/or initiation of revocation proceedings.

#### **Project-Specific Conditions of Approval**

20. The Project shall not involve any physical expansion of existing structures. All services shall be conducted within the confines of the existing campus facilities.
21. Transitional and supportive housing as part of the Project shall operate consistent with California Government Code Section 65582.
22. All referral processes, including self-referrals, shall adhere to a predefined intake procedure to verify alignment of client needs with the services offered. The procedure shall be consistently applied for all referrals.
23. A supportive services plan for the use of transitional and supportive housing shall be maintained and made available to the City upon request. The supportive services plan shall include, at minimum, the description of services provided, the entity providing the services, whether the services are located on-site or off-site, and the staffing levels provided.
24. A drop-off and pick-up plan shall be prepared for any daycare and/or early education uses provided. All drop-off and pick-up shall occur on-site. The plan shall not permit vehicles of parents and guardians to idle in drive aisles. All driveway entrances and exits shall remain open and unobstructed at all times.

25. Exterior noise levels and visitation shall be limited after 10:00 p.m. pursuant to RMC Section 8.36.060(A)(1), which states that the allowable exterior noise level shall be 60 dBA between 10:00 p.m. and 7:00 a.m. and 65 dBA between 7:00 a.m. and 10:00 p.m.
26. Professional staff shall be employed to provide services for the following land uses: transitional housing, mental health services, administrative services, early education, daycare, religious and institutional uses, and open space and recreational uses.

### **Seton House Program**

27. The Seton House program shall exclusively serve parents and children.
28. The occupancy of the Seton House program shall not exceed the occupancy limits as set by the California Building Code and Fire Marshall for any building on-site.
29. A drug-free environment policy at Seton House shall be established, with strict rules prohibiting drug use on the premises and corrective actions in place for violations.

### **Hope Housing for Students Program**

30. The Hope Housing for Students program shall exclusively serve students attending a college.
31. The occupancy of the Hope Housing for Students program shall not exceed the occupancy limits as set by the California Building Code and Fire Marshall for any building on-site.

### **Religious and Institutional Uses**

32. Maryvale shall obtain all necessary permits, including Temporary Use Permits and Special Event Permits, as outlined in RMC Chapter 17.124 - Temporary Use Permits and Special Events.
33. No plans for future expansion or changes in services and activities currently offered on campus shall proceed without the City's approval.

### **Chief of Police Conditions of Approval**

34. A 24-hour video surveillance system shall be installed. Coverage shall include the following areas:
  - a. Patron and employee arrival and departure
  - b. Immediate and adjoining parking areas
  - c. Rear parking areas

d. Entire exterior perimeter

35. The video surveillance's footage shall be stored for a minimum of 30 days and be made available to law enforcement and the Code Enforcement Division upon request.
36. The campus shall be subject to inspections by law enforcement and the Code Enforcement Division during all business hours.
37. Good lighting in the parking lots and exterior areas of the campus shall be maintained during hours of darkness to the satisfaction of the Chief of Police.
38. The front gate allowing entry/exit to the campus shall be closed during overnight hours (2200-0530) and shall only be accessed via a call box. A phone number for the contracted security personnel shall be posted at the gate. The security personnel shall be responsible for verifying that only staff, registered residents, and their registered guests with valid government-issued identification are allowed on the premises.
39. A key shall be required for door access to each building.
40. A minimum of one licensed security guard shall be present on the campus during the nighttime.
41. A risk management plan addressing potential security threats and mitigation shall be developed. The plan shall be provided to the City upon request.
42. Training regarding security protocols and emergency procedures shall be provided to staff annually.

**Public Works Conditions of Approval**

43. The second sheet of building plans, grading plans, and/or off-site improvement plans are to list all conditions of approval and to include a copy of the City Council's decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
44. A separate permit shall first be obtained from the City's Public Works Department prior to placement of any construction materials or equipment in the public way.
45. Remove and replace broken and off grade curb and gutter per SPPWC Latest edition and as directed by the City Engineer or his/her designee.
46. A Landscaping plan is to be submitted, reviewed, and approved by the City Engineer or his/her designee prior to the issuance of permits. The landscaping plan shall provide for the following:

- a. The existing weep holes within the block wall located along the property frontage along the south side of Graves Avenue will need to be filled in and redirected to drain into an interior drainage system, as shown on the landscaping plan. Weep holes currently allow for water to drain over the sidewalk.
47. Prior to final of the building permit(s), inspection shall be required by Public Works inspector.

**Building and Safety Conditions of Approval**

48. The second sheet of building plans is to list all conditions of approval and to include a copy of the City Council's decision letter. This information shall be incorporated into the plans prior to the first submittal for plan check.
49. Plans prepared in compliance with the current Building Code shall be submitted to the Building Division for review prior to permit issuance.
50. Fees shall be paid to the County of Los Angeles Sanitation District prior to issuance of the building permit.
51. In accordance with paragraph 5538(b) of the California Business and Professions Code, plans are to be prepared and stamped by a licensed architect.
52. Structural assessment shall be conducted by an architect, civil engineer, or structural engineer to ensure the existing partition walls and/or unit separation walls on the second floor to be removed are not part of the existing structural systems, including those designed to resist gravity and/or lateral loading. Otherwise, provide structural design drawings for the proposed structural alterations along with supporting calculations.
53. Structural assessment shall be conducted by an architect, civil engineer, or structural engineer to ensure the existing corridor was constructed with concrete partition walls and concrete ceiling at roof well. Otherwise, provide fire-resistance design for the corridor, including its walls and ceiling, to meet the current standards.
54. The hanging of new hard-lid ceiling shall not exceed the structural loading limitations per California Existing Building Code regarding prescriptive requirements for alterations. Otherwise, a structural analysis of existing building or portion thereof carrying additional loading is required.
55. The use of the building or portion thereof for (non-transient) transitional or supportive housing as defined by Government Code 65582 with more than 16 occupants shall be classified as Group R-2 Occupancy.
56. An allowable building area analysis shall be provided to justify the existing building qualifies as Type IIIB construction, having 2-hour fire-resistance rated exterior wall

of non-combustible materials per the current code. Documentations shall be provided to validate that the existing building is fire-sprinklered with NFPA-13 system. Justifications shall also be provided that the allowable area for the most restrictive occupancy (A-3 in this case) complies.

57. New dwelling unit separation walls shall be constructed per Section 420.2 of the Building Code. Note the separation wall should be connected to a rated floor assembly or to be continuous down to the foundation.
58. Should the existing Laboure Hall be first constructed or preciously converted to an I-occupancy for use of childcare or orphanage, the exemption for housing accessibility per Section 1102A.2 of the Building Code does not apply. While the proposed conversion of a portion of existing sleeping rooms to R-2 occupancy itself does not trigger the housing accessibility requirements per Chapter 11A, the existing portion to remain as a public accommodation may be subject to on-going obligation to remove barriers under Title III of the American Disability Act. The regulations in Chapter 11B of the Building Code, including path of travel requirements, may apply to the alteration to the existing offices on the first floor.
59. Separate application and plan review is required for mechanical, electrical, and plumbing plans.
60. Project shall comply with the CalGreen Non-Residential mandatory requirements and CalGreen Residential mandatory requirements.
61. Where five or more multifamily dwelling units are constructed on a building site per Section 4.410.2 of the CalGreen Code, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of nonhazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.
62. All fire sprinkler hangers must be designed, and their location approved by an engineer or an architect. Calculations must be provided indicating that the hangers are designed to carry the tributary weight of the water filled pipe plus a 250-pound point load. A plan indication this information must be stamped by the engineer or the architect and submitted for approval prior to issuance of the building permit.
63. A separate permit is required for Fire Sprinklers.



## Attachment E

### Written Public Comments



**The Consortium**  
San Gabriel Valley Consortium on Homelessness

August 21, 2024

**Re: Maryvale's Planned Development Application**

To Members of the Rosemead Planning Commission & City Council,

The San Gabriel Valley Consortium on Homelessness (SGVC) urges you to support Maryvale's Planned Development Application. The SGVC, and our 3000+ stakeholders of non-profits, businesses, schools, hospitals and government entities, exist to educate communities, collaborate organizations and advocate to prevent and end homelessness in the San Gabriel Valley (SGV) of LA County. The SGV Consortium supports policies that address homelessness and the housing affordability crisis. The increase of any affordable housing, with amazing supportive service for addiction and mental health, such as Maryvale provides, further helps to prevent homelessness, and helps to keep families and individuals in your community and school system, instead of moving away. This is a win-win-win situation for the city, the future residents of this development and the entire City of Rosemead. Also any future housing development will further help Rosemead meet its goal in its Housing Element and its own RHNA numbers for affordable units, and further support the city and regional homeless plans.

The reasons for the development are also above and beyond the amazing professional and compassionate history of services Maryvale has provided for the residents of Rosemead and the region for over 100 years. Their early child development program, the new Seton House for homeless families, as well as being an inspiration of faith, needs to be supported and not stonewalled behind bureaucracy. Rosemead needs to honor their relationship with Maryvale and their commitment to this city, by giving your full support for a healthy, professional and sustainable development plan.

Thank you for your support of this application and any future plans! As an organization who works to end homelessness, we cannot stress enough to importance of the creation of interim and affordable housing with supportive services to keep people housed and get individuals and families off of the streets. **The Consortium is committed to working with Rosemead to address any issues to prevent and end homelessness, as part of a regional approach.**

Please contact myself at [scott@sgvc.org](mailto:scott@sgvc.org), if I can provide additional support.

Sincerely,

*Scott Chamberlain*

Scott Chamberlain  
Director, SGV Consortium on Homelessness  
[scott@sgvc.org](mailto:scott@sgvc.org)

## Lina Do

---

**From:** Lily T. Valenzuela  
**Sent:** Wednesday, August 21, 2024 8:02 PM  
**To:** Lina Do  
**Subject:** Fwd: Maryvale P-D 23-0

FYI

Get [Outlook for iOS](#)

---

**From:** Joan Waddell  
**Sent:** Wednesday, August 21, 2024 5:38:46 PM  
**To:** Lily T. Valenzuela <ltrinh@cityofrosemead.org>  
**Subject:** Maryvale P-D 23-0

**[External Email] - Use caution when opening links or attachments.**

Dear Ms. Valenzuela:

As a former employee (1982-1985) and long-time supporter of Maryvale, I urge you to thoughtfully consider the organization's latest development plan so that they may continue the extremely important work they do to serve the most vulnerable among us. Maryvale is a unique institution that has adapted to changing times and changing needs within the community of Rosemead and throughout the Southern California region as a whole.

Please support them as they move into their next chapter of service and their mission to be a beacon of hope to all. They will continue to be a shining light and an organization that Rosemead can view with pride.

Thank you for your time.

Sincerely,  
Joan Waddell



## SAN GABRIEL VALLEY DEVELOPMENT

1613 Chelsea Road #365, San Marino, CA 91108 – 626.425.2572

[www.sgvdevelopment.com](http://www.sgvdevelopment.com)



8/21/24

Members  
Rosemead Planning Commission  
8838 East Valley Boulevard  
Rosemead, CA 91770

*RE: Support for Maryvale Planned Development Application 23-01*

Dear Members of the Planning Commission,

San Gabriel Valley Development is pleased to support Maryvale's planned development application to permit the continued operation and maintenance of its historic uses including temporary housing, early education, and mental health programs. For 168 years, 71 of which have been at its current Rosemead site, Maryvale has been a beacon of hope and served those most in need in Los Angeles County.

Most recently, Maryvale has opened Seton House to assist single mothers with up to two children under the age of 10 who are facing housing insecurity. As we all know, the need is urgent! It is estimated that 58% of Los Angeles tenants are rent burdened, which means they pay more than 30% of their income to rent, with 31% being severely rent-burdened, paying more than 50% of their income to rent. Abundant Housing LA estimates that Los Angeles County has a deficit of over 700,000 homes that are affordable to very low-income and low-income households. More specifically, the 2020 countywide homeless count found that a single mother heads 20% of homeless families.

As Los Angeles County's longest-serving charity dedicated to serving children, youth, and families, Maryvale has a long history of caring for orphaned, abused, and neglected children and is uniquely qualified to help address the homelessness of young, single mothers with small children in Los Angeles County through the integration of its housing, early education, and mental health services.

Further, Maryvale's Rosemead early childhood education program, begun in 1968, provides an invaluable resource to over 150 children and their families each year. The program prepares each child for a lifetime love of learning and educational success through its academic and child-focused curriculum, low child-to-adult ratios for more individualized attention, and a safe, nurturing environment.

Finally, Maryvale's community-based mental health services provide much needed support to children, youth, and families who are struggling with mental health and substance use challenges.

I ask that you promptly approve Maryvale's application to continue these much-needed services in our community.

Sincerely,

Matthew Krappman  
Owner  
San Gabriel Valley Development

July 31, 2021

**G O O D A L E**  
ARCHITECTURE

Subject: **Invoice Transmittal #2**  
**CP-509, Dizdar Park Renovations**  
**& Former Fire Station**  
**P.O. #023048**

Accounts Payable,

Contained herein is the monthly invoice and back-up materials.

Please remit payment via Federal Express ground service to the  
the address below, (Account #675179492):

David Goodale  
Goodale Architecture Planning  
773 S. Marengo Ave.  
Unit #2  
Pasadena, CA 91106

Thank you,



ED AP

August 22, 2024

Members  
Rosemead Planning Commission  
8838 East Valley Boulevard  
Rosemead, CA 91770

**G O O D A L E**  
**ARCHITECTURE**

RE: Support for Maryvale Planned Development Application 23-01

Dear Members of the Planning Commission,

We are writing in support of Maryvale's planned development application to permit the continued operation and maintenance of its historic uses including temporary housing, early education, and mental health programs.

As we all know, the need for all forms of affordable and supportive housing in California is urgent! Abundant Housing LA estimates that Los Angeles County has a deficit of over 700,000 homes that are affordable to very low-income and low-income households. More specifically, the 2020 countywide homeless count found that a single mother heads 20% of homeless families.

As Los Angeles County's longest-serving charity dedicated to serving children, youth, and families, Maryvale has a long history of caring for orphaned, abused, and neglected children and is uniquely qualified to help address the homelessness of young, single mothers with small children in Los Angeles County through the integration of its housing, early education, and mental health services.

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Finally, Maryvale's community-based mental health services provide much needed support to children, youth, and families who are struggling with mental health and substance use challenges.

We ask that you approve Maryvale's application to continue these much-needed services in our community.

Sincerely,



David L Goodale, AIA LEED AP



Rosemead Chamber of Commerce  
8780 Valley Blvd. Ste J  
Rosemead, CA 91770  
626-288-0811

August 21, 2024  
Members  
Rosemead Planning Commission  
8838 East Valley Boulevard  
Rosemead, CA 91770

*RE: Support for Maryvale Planned Development Application 23-01*

Dear Members of the Planning Commission,

**Executive Committee**

**President**

**Keny Chung, esq**  
Hong Kong Realty  
Management

**Vice Presidents**

**Min Wang**  
Republic Services

**Past President**

**Helen Romero Shaw**

**Directors**

**Paul Chen**  
Chen & Fan  
Accountancy

**Steve Chiang**  
LA Web

**Melissa Demirci**  
Transtech Engineers,  
Inc.

**Jennifer Fu**  
Amity Law

**Robert Oehler**  
Burritt Advisory Services

**Marissa Castro-Salvati**  
Southern California  
Edison

**Henry Xie**  
Valley Hotel

Rosemead Chamber of Commerce is pleased to support Maryvale's planned development application to permit the continued operation and maintenance of its historic uses including temporary housing, early education, and mental health programs. For 168 years, 71 of which have been at its current Rosemead site, Maryvale has been a beacon of hope and served those most in need in Los Angeles County.

Most recently, Maryvale has opened Seton House to assist single mothers with up to two children under the age of 10 who are facing housing insecurity. As we all know, the need is urgent! It is estimated that 58% of Los Angeles tenants are rent burdened, which means they pay more than 30% of their income to rent, with 31% being severely rent-burdened, paying more than 50% of their income to rent. Abundant Housing LA estimates that Los Angeles County has a deficit of over 700,000 homes that are affordable to very low-income and low-income households. More specifically, the 2020 countywide homeless count found that a single mother heads 20% of homeless families.

As Los Angeles County's longest-serving charity dedicated to serving children, youth, and families, Maryvale has a long history of caring for orphaned, abused, and neglected children and is uniquely qualified to help address the homelessness of young, single mothers with small children in Los Angeles County through the integration of its housing, early education, and mental health services.

Further, Maryvale's Rosemead early childhood education program, begun in 1968, provides an invaluable resource to over 150 children and their families each year. The program prepares each child for a lifetime love of learning and education success through its academic and child-focused curriculum, low child-to-adult ratios for more individualized attention, and a safe, nurturing environment.

Finally, Maryvale's community-based mental health services provide much needed support to children, youth, and families who are struggling with mental health and substance use challenges.

I ask that you approve Maryvale's application to continue these much-needed services in our community.

Sincerely,

Ray Jan  
Executive Director  
Rosemead Chamber of Commerce

**Lina Do**

---

**From:** Lily T. Valenzuela  
**Sent:** Thursday, August 22, 2024 4:25 PM  
**To:** Lina Do  
**Subject:** FW: Support for Maryvale Planned Development Application 23-01

FYI

**Lily T. Valenzuela**  
Director of Community Development



8838 E. Valley Blvd.  
Rosemead, CA 91770  
Office: (626) 569-2142  
Cell: (323) 389-4105  
Fax: (626) 307-9218  
[www.cityofrosemead.org](http://www.cityofrosemead.org)



**From:** Erica Luna  
**Sent:** Thursday, August 22, 2024 3:16 PM  
**To:** Lily T. Valenzuela <ltrinh@cityofrosemead.org>  
**Subject:** Support for Maryvale Planned Development Application 23-01

**[External Email] - Use caution when opening links or attachments.**

08/22/2024

Rosemead City Council  
8838 East Valley Boulevard  
Rosemead, CA 91770

Dear Members of the Rosemead City Council,

We are writing to express my wholehearted support for the Maryvale planned development application that has been submitted for your consideration.

Having personally witnessed the remarkable work and positive influence of Maryvale, we consider it a privilege to offer our endorsement for their application.

Our children attend the early education center here in Rosemead. Both of our girls have flourished given the quality care and education they have been provided at Maryvale. Our family believes in the Mission of the organization and fully supports their desire to support others in the community through their diverse range of services.

Maryvale's long history of serving children, youth, and families in Los Angeles since 1856 and specifically at its Rosemead location beginning in 1953 is remarkable. Maryvale has been, and continues to be, a pillar in the community, even before the City of Rosemead was incorporated.

Starting in 1968, Maryvale has provided quality early childhood education to thousands of children from the community. Through its residential and temporary housing programs on the Rosemead campus, Maryvale has met the needs of over 8,000 children and adults including foster youth, Cuban and Vietnamese refugees, and single mothers with young children.

Throughout its history, Maryvale has continuously evolved to meet the ever-changing needs of our society. From providing refuge to those in need, to offering vital educational and mental health resources, Maryvale has remained steadfast in its commitment to serving the most vulnerable among us. As we look back on the decades of tireless dedication and unwavering service, it is abundantly clear that Maryvale is not just an organization, but a cornerstone of our community's strength and resilience.

Maryvale's presence in our community will undoubtedly continue to bring about significant benefits and positively impact the lives of those they serve. Their dedication, passion, and expertise make them an invaluable asset to the community.

In conclusion, we stand firmly in support of Maryvale's application as they continue providing exceptional service while creating lasting change in Rosemead and its surrounding communities.

Sincerely,

*Timothy & Erica Gonzales*

## Lina Do

---

**From:** Lily T. Valenzuela  
**Sent:** Friday, August 23, 2024 10:34 AM  
**To:** Christa Ramirez  
**Cc:** Lina Do; Ericka Hernandez  
**Subject:** Re: Support for Maryvale Planned Development Application 23-01

Your email was received. Thank you.

Best,  
Lily

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---

**From:** Christa Ramirez <cramirez@maryvale.org>  
**Sent:** Friday, August 23, 2024 7:07:19 AM  
**To:** Lily T. Valenzuela <ltrinh@cityofrosemead.org>  
**Subject:** Support for Maryvale Planned Development Application 23-01

### **[External Email] - Use caution when opening links or attachments.**

Dear Members of the Rosemead City Council,

I am writing to express my wholehearted support for the Maryvale planned development application that has been submitted for your consideration.

Having personally witnessed the remarkable work and positive influence of Maryvale, I consider it a privilege to offer my endorsement for their application.

I have a very personal connection with Maryvale as I have been an employee for 16 years and can wholeheartedly say this is just a wonderful place to be. The compassion and dedication to help those in need is beyond what words can express.

I have personally witnessed the remarkable work and positive influence of Maryvale, not only with the children and clients we serve but within my own family as well. My eldest grandson attended the early education center up until transitioning to Kindergarten, and at 2 years of age was diagnosed with Autism. The support received from the Early Education Teachers and Administrative staff not only for me as a grandparent but for my daughter as a teenage mom, was beyond anything we could have expected. My second grandson now attends the Early Education Center as well; just the peace of mind knowing he is well taken care of each and every day is priceless.

Maryvale's long history of serving children, youth, and families in Los Angeles since 1856 and specifically at its Rosemead location beginning in 1953 is remarkable. Maryvale has been, and continues to be, a pillar in the community, even before the City of Rosemead was incorporated.

Throughout its history, Maryvale has continuously evolved to meet the ever-changing needs of our society. From providing refuge to those in need, to offering vital educational and mental health resources, Maryvale has remained steadfast in its commitment to serving the most vulnerable among us. As we look back on the decades of tireless dedication and unwavering service, it is abundantly clear that Maryvale is not just an organization, but a cornerstone of our community's strength and resilience.

Please help support and sustain Maryvale's presence in our community as this will undoubtedly continue to bring about significant benefits and positively impact the lives of those they serve. Their dedication, passion, and expertise make them an invaluable asset to the community.

In conclusion, I stand firmly in support of Maryvale's application as they continue providing exceptional service while creating lasting change in Rosemead and its surrounding communities.

Sincerely,

**Christa Ramirez**

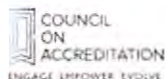
Human Resources Manager

MARYVALE

7600 East Graves Avenue, Rosemead, CA 91770

Phone: 626-537-3322 | Fax: 626-288-1025 | Cell: 626-506-5596

[www.maryvale.org](http://www.maryvale.org) | [Maryvale: 168 Years of Caring](#)



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## Lina Do

---

**From:** Lily T. Valenzuela  
**Sent:** Friday, August 23, 2024 10:38 AM  
**To:** wendybmcgrail@gmail.com  
**Cc:** Lina Do; Ericka Hernandez  
**Subject:** Re: Letter of Support for Maryvale's planned development application review

Your email was received. Thank you.

Best,  
Lily

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---

**From:**  
**Sent:** Thursday, August 22, 2024 8:46:38 PM  
**To:** Lily T. Valenzuela <ltrinh@cityofrosemead.org>  
**Subject:** Letter of Support for Maryvale's planned development application review

**[External Email] - Use caution when opening links or attachments.**

Dear Ms. Lily T. Valenzuela,

Please accept this letter of support from the Society of St. Vincent de Paul, St. Luke Conference for the current **planned development application review of Maryvale**, scheduled to appear before the Planning Commission on **Monday, September 16th** at 7pm.

Although we cannot be there in person, we request that our voice be heard by means of this written correspondence. Thank you for considering our request.

Sincerely,  
Wendy

*"Pray, hope and don't worry!"*  
St. Padre Pio

23 August 2024



Members  
Rosemead Planning Commission  
8838 East Valley Boulevard  
Rosemead, CA 91770

*RE: Support for Maryvale Planned Development Application 23-01*

Dear Members of the Planning Commission,

Union Church LA is pleased to support Maryvale's planned development application to permit the continued operation and maintenance of its historic uses including temporary housing, early education, and mental health programs. For 168 years, 71 of which have been at its current Rosemead site, Maryvale has been a beacon of hope and served those most in need in Los Angeles County.

Most recently, Maryvale has opened Seton House to assist single mothers with up to two children under the age of 10 who are facing housing insecurity. As we all know, the need is urgent! It is estimated that 58% of Los Angeles tenants are rent burdened, which means they pay more than 30% of their income to rent, with 31% being severely rent-burdened, paying more than 50% of their income to rent. Abundant Housing LA estimates that Los Angeles County has a deficit of over 700,000 homes that are affordable to very low-income and low-income households. More specifically, the 2020 countywide homeless count found that a single mother heads 20% of homeless families.

As Los Angeles County's longest-serving charity dedicated to serving children, youth, and families, Maryvale has a long history of caring for orphaned, abused, and neglected children and is uniquely qualified to help address the homelessness of young, single mothers with small children in Los Angeles County through the integration of its housing, early education, and mental health services.

Further, Maryvale's Rosemead early childhood education program, begun in 1968, provides an invaluable resource to over 150 children and their families each year. The program prepares each child for a lifetime love of learning and education success through its academic and child-focused curriculum, low child-to-adult ratios for more individualized attention, and a safe, nurturing environment.

Finally, Maryvale's community-based mental health services provide much needed support to children, youth, and families who are struggling with mental health and substance use challenges.

I ask that you approve Maryvale's application to continue these much-needed services in our community.

Sincerely,

Julie Baez  
Lead Co- Pastor



**CHELSEA MANAGEMENT COMPANY**  
**INVESTMENT COUNSEL**

August 22, 2024

Members  
Rosemead Planning Commission  
8838 East Valley Boulevard  
Rosemead, CA 91770

*RE: Support for Maryvale Planned Development Application 23-01*

Dear Members of the Planning Commission,

I'm Patrick Pascal, the President and CEO of Chelsea Management Company. Since our founding in 1971, our firm has provided investment counsel to both individual and institutional clients. I have supported Steve Gunther in his works for 30 years. First, in his role of executive director of St Anne's in Los Angeles. For over 20 years I have supported, advised and donated to Steve Gunther as he has expanded his works at Maryvale. I cannot give a heartier endorsement to what he and the organization have done.

Chelsea Management Company is pleased to support Maryvale's planned development application to permit the continued operation and maintenance of its historic uses including temporary housing, early education, and mental health programs. For 168 years, 71 of which have been at its current Rosemead site, Maryvale has been a beacon of hope and served those most in need in Los Angeles County.

Most recently, Maryvale has opened Seton House to assist single mothers with up to two children under the age of 10 who are facing housing insecurity. As we all know, the need is urgent! It is estimated that 58% of Los Angeles tenants are rent burdened, which means they pay more than 30% of their income to rent, with 31% being severely rent-burdened, paying more than 50% of their income to rent. Abundant Housing LA estimates that Los Angeles County has a deficit of over 700,000 homes that are affordable to very low-income and low-income households. More specifically, the 2020 countywide homeless count found that a single mother heads 20% of homeless families.

As Los Angeles County's longest-serving charity dedicated to serving children, youth, and families, Maryvale has a long history of caring for orphaned, abused, and neglected children and is uniquely qualified to help address the homelessness of young, single mothers with small children in Los Angeles County through the integration of its housing, early education, and mental health services.

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Finally, Maryvale's community-based mental health services provide much needed support to children, youth, and families who are struggling with mental health and substance use challenges.

I ask that you approve Maryvale's application to continue these much-needed services in our community.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Patrick Pascal', with a stylized flourish extending to the right.

Patrick Pascal  
President & CEO  
Chelsea Management Company

**Lina Do**

---

**From:** Lily T. Valenzuela  
**Sent:** Friday, August 23, 2024 2:45 PM  
**To:** Michelle Culver  
**Cc:** Lina Do; Ericka Hernandez  
**Subject:** Re: NPHI: Support for Maryvale Planned Development Application

Your email was received. Thank you.

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---

**From:** Michelle Culver <MCulver@Maryvale.org>  
**Sent:** Friday, August 23, 2024 12:14:07 PM  
**To:** Lily T. Valenzuela <ltrinh@cityofrosemead.org>  
**Subject:** NPHI: Support for Maryvale Planned Development Application

**[External Email] - Use caution when opening links or attachments.**

Members

Rosemead Planning Commission

8838 East Valley Boulevard

Rosemead, CA 91770

RE: Support for Maryvale Planned Development Application 23-01

Dear Members of the Planning Commission,

I am pleased to support Maryvale's planned development application to permit the continued operation and maintenance of its historic uses including temporary housing, early education, and mental health programs. For 168 years, 71 of which have been at its current Rosemead site, Maryvale has been a beacon of hope and served those most in need in Los Angeles County.

Most recently, Maryvale has opened Seton House to assist single mothers with up to two children under the age of 10 who are facing housing insecurity. As we all know, the need is urgent! It is estimated that 58% of Los Angeles tenants are rent burdened, which means they pay more than 30% of their income to rent, with 31% being severely rent-burdened, paying more than 50% of their income to rent. Abundant Housing LA estimates that Los Angeles County has a deficit of over 700,000 homes that are affordable to very low-income and low-income households. More specifically, the 2020 countywide homeless count found that a single mother heads 20% of homeless families.

As Los Angeles County’s longest-serving charity dedicated to serving children, youth, and families, Maryvale has a long history of caring for orphaned, abused, and neglected children and is uniquely qualified to help address the homelessness of young, single mothers with small children in Los Angeles County through the integration of its housing, early education, and mental health services.

Further, Maryvale’s Rosemead early childhood education program, begun in 1968, provides an invaluable resource to over 150 children and their families each year. The program prepares each child for a lifetime love of learning and education success through its academic and child-focused curriculum, low child-to-adult ratios for more individualized attention, and a safe, nurturing environment.

Finally, Maryvale’s community-based mental health services provide much needed support to children, youth, and families who are struggling with mental health and substance use challenges. These services are vital to the adults and children of our community.

As a provider in this community, I know the impact support and resources are to children and families that are struggling. This expansion of services would support those in the community that need it most.

I ask that you approve Maryvale’s application to continue these much-needed services in our community.

Sincerely,

Michelle Culver, LMFT

Director of Community-Based Services

**Michelle Culver, LMFT #44007**

Director of Community-Based Services

MARYVALE

2502 East Huntington Drive, Duarte, CA 91010

Cell Phone: 626-940-4085 | Fax: 626-359-4285

[www.maryvale.org](http://www.maryvale.org) | [Maryvale: Over 165 Years of Caring](#)



IMPROVING LIVES SINCE 1856



## Lina Do

---

**From:** Lily T. Valenzuela  
**Sent:** Friday, August 23, 2024 3:50 PM  
**To:** Lina Do  
**Subject:** Fwd: Support for Maryvale Planned Development Application 23-01

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---

**From:** James Bumroongnangam <JBumroongnangam@Maryvale.org>  
**Sent:** Friday, August 23, 2024 3:08:58 PM  
**To:** Lily T. Valenzuela <ltrinh@cityofrosemead.org>  
**Subject:** Support for Maryvale Planned Development Application 23-01

### **[External Email] - Use caution when opening links or attachments.**

Dear Members of the Rosemead City Council,

My name is James and I am a HR Generalist/Recruiter at Maryvale.

I am writing because I want to express my support for Maryvale's development application that has been submitted for your consideration. Many of my colleagues have also sent letters to show their heartfelt support for Maryvale and I am sure they have thoroughly detailed what Maryvale is doing and has done for the community and families. Compared to them, I don't think I am nearly as eloquent, but I can say this from my heart that it is truly a joy to work at Maryvale these past 2 years. It is truly a joy to bear witness to the smiling faces of the mothers in our Family Housing Program when I sit in the cafeteria area at lunchtime. It is also a joy to hear children laughing in our Early Childhood Education program, to see teachers love on the kids and speak so sweetly to them. It is a simple joy but so tangible and real. Maryvale is dedicated to the community and the people in it, that's been the goal from the start, its why I applied to work at Maryvale.

We are all asking for your support to help Maryvale continue what the organization has been doing for over 168 years. Please allow us to continue to come along side our communities through the services we offer.

Thank you.

**James Bumroongnangam**

HR Generalist / Recruiter

MARYVALE

7600 East Graves Avenue, Rosemead, CA 91770

Phone: 626-537-3325 | Fax: 626-288-1025 | Cell: 626-949-8296

[www.maryvale.org](http://www.maryvale.org) | [Maryvale: Over 165 Years of Caring](#)



## Lina Do

---

**From:** Lily T. Valenzuela  
**Sent:** Saturday, August 24, 2024 7:34 PM  
**To:** Lina Do  
**Subject:** Fwd: Letter of Support - Maryvale project

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

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**From:** Ngo, Vinh T. <vngo@MontereyPark.ca.gov>  
**Sent:** Saturday, August 24, 2024 11:58:09 AM  
**To:** Lily T. Valenzuela <ltrinh@cityofrosemead.org>  
**Cc:** jlazaro@maryvale.org <jlazaro@maryvale.org>; sgunther@maryvale.org <sgunther@maryvale.org>; mkoenig@maryvale.org <mkoenig@maryvale.org>  
**Subject:** Letter of Support - Maryvale project

**[External Email] - Use caution when opening links or attachments.**

---

To: Rosemead Planning Commission  
8838 East Valley Boulevard  
Rosemead, CA 91770

*RE: Support for Maryvale Planned Development Application23-01*

Dear Members of the Planning Commission,

I write to support Maryvale's planned development application to permit the continuing operation and maintenance of its historic uses including temporary housing, early education, and mental health programs. For over 71 years, Maryvale has served in the Rosemead and nearby communities.

Maryvale's new transitional housing program serving single mothers and children, part of the Seton House program is what our community needs. As one of LA County's longest-serving charity dedicated to serving children, youth, and families, Maryvale has a long history of caring for orphaned, abused, and neglected children. The program prepares each child for a lifetime love of learning and educational success through its academic and child-focused curriculum, low child-to-adult ratios for more individualized attention with a safe and nurturing environment.

I stand to support and ask that you approve Maryvale's application to continue these much-needed services in our community.

Sincerely,



Vinh T. Ngo  
Monterey Park, Mayor Protem

**Lina Do**

---

**From:** Lily T. Valenzuela  
**Sent:** Saturday, August 24, 2024 7:34 PM  
**To:** twingit@aol.com  
**Cc:** jlazaro@maryvale.org; Lina Do; Ericka Hernandez  
**Subject:** Re: Maryvale P-D 23-0

Your email was received. Thank you.

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---

**From:** 'Lily T. Valenzuela' <ltrinh@cityofroosemead.org>  
**Sent:** Saturday, August 24, 2024 11:12:15 AM  
**To:** Lily T. Valenzuela <ltrinh@cityofroosemead.org>  
**Cc:** jlazaro@maryvale.org <jlazaro@maryvale.org>  
**Subject:** Maryvale P-D 23-0

**[External Email] - Use caution when opening links or attachments.**

Dear Ms. Valenzuela:

I have volunteered for 34 years to help the residents of Maryvale so I can honestly say it has been a beacon of hope for disadvantaged youth and families.

I am thrilled to support Maryvale and its application to permit the continued operation for its early education, temporary housing (which is, as we know, is in desperate need now) and mental health programs.

One of the most urgent needs is single mothers with small children. The cities of Los Angeles is building facilities to house people right now.

Here we have a wonderful beautiful and serene place with rooms already put in place for these small families with more being planned.

There is so much that Maryvale does for the community and has done so for so many years as it is the longest serving charity for children in Los Angeles.

I ask that you approve Maryvale's application to continue these much needed services.

If you would like to talk further to me, please feel free to do so.

Susan Frazier  
Los Angeles Maryvale Guild

## Lina Do

---

**From:** Lily T. Valenzuela  
**Sent:** Sunday, August 25, 2024 3:17 PM  
**To:** Star B.  
**Cc:** Lina Do; Ericka Hernandez  
**Subject:** Re: Maryvale P-D 23-0

Your email was received. Thank you.

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---

**From:** Star B.  
**Sent:** Sunday, August 25, 2024 8:22:23 AM  
**To:** Lily T. Valenzuela <ltrinh@cityofrosemead.org>  
**Subject:** Maryvale P-D 23-0

**[External Email] - Use caution when opening links or attachments.**

August 25th, 2024

Members  
Rosemead Planning Commission  
8838 East Valley Boulevard  
Rosemead, CA 91770

*RE: Support for Maryvale Planned Development Application23-01*

Dear Members of the Planning Commission,

My name is Zena Buccola. I am a community member and supporter of Maryvale.

I had the privilege of touring the grounds and learning about the many ways it supports youth in our community, from a primary education center, housing for teens needing mental health services, and now Seton House, which supports single mothers and their children.

As California laws have change in response to orphaned children, Maryvale has adapted its approach over the years to both meet California's legal requirements and service those in need.

There is not a single approach or one size fits all that works in every situation. California social services are over burdened with the amount of need there is. That is why nonprofit organizations such as Maryvale are necessary.

I ask that you approve Maryvale's application to continue these much-needed services in our community.

Thank you,

Zena Buccola

Community member and supporter of Maryvale



Retirement Services • Investments

**Rosa R. Weyman**  
Senior Retirement Plan  
Consultant  
w: 562.473.7186

August 26, 2024

Members  
Rosemead Planning Commission  
8838 East Valley Boulevard  
Rosemead, CA 91770

RE: Support for Maryvale Planned Development Application 23-01

Dear Members of the Planning Commission,

Mutual of America is pleased to support Maryvale's planned development application to permit the continued operation and maintenance of its historic uses including temporary housing, early education, and mental health programs. For 168 years, 71 of which have been at its current Rosemead site, Maryvale has been a beacon of hope and served those most in need in Los Angeles County.

Most recently, Maryvale has opened Seton House to assist single mothers with up to two children under the age of 10 who are facing housing insecurity. As we all know, the need is urgent! It is estimated that 58% of Los Angeles tenants are rent burdened, which means they pay more than 30% of their income to rent, with 31% being severely rent-burdened, paying more than 50% of their income to rent. Abundant Housing LA estimates that Los Angeles County has a deficit of over 700,000 homes that are affordable to very low-income and low-income households. More specifically, the 2020 countywide homeless count found that a single mother heads 20% of homeless families.

As Los Angeles County's longest-serving charity dedicated to serving children, youth, and families, Maryvale has a long history of caring for orphaned, abused, and neglected children and is uniquely qualified to help address the homelessness of young, single mothers with small children in Los Angeles County through the integration of its housing, early education, and mental health services.

Further, Maryvale's Rosemead early childhood education program, begun in 1968, provides an invaluable resource to over 150 children and their families each year. The program prepares each child for a lifetime love of learning and education success through its academic and child-focused curriculum, low child-to-adult ratios for more individualized attention, and a safe, nurturing environment.

Finally, Maryvale's community-based mental health services provide much needed support to children, youth, and families who are struggling with mental health and substance use challenges.

I ask that you approve Maryvale's application to continue these much-needed services in our community.

Sincerely,

A handwritten signature in black ink, appearing to read "Rosa R. Weyman".



August 26, 2024

Rosemead Planning Commission  
8838 East Valley Boulevard  
Rosemead, CA 91770

*RE: Support for Maryvale Planned Development Application 23-01*

Dear Members of the Planning Commission,

GRACE, Inc. is pleased to support Maryvale's planned development application to permit the continued operation and maintenance of its historic uses including temporary housing, early education, and mental health programs. For 168 years, 71 of which have been at its current Rosemead site, Maryvale has been a beacon of hope and served those most in need in Los Angeles County.

Most recently, Maryvale has opened Seton House to assist single mothers with up to two children under the age of 10 who are facing housing insecurity. As we all know, the need is urgent! It is estimated that 58% of Los Angeles tenants are rent burdened, which means they pay more than 30% of their income to rent, with 31% being severely rent-burdened, paying more than 50% of their income to rent. Abundant Housing LA estimates that Los Angeles County has a deficit of over 700,000 homes that are affordable to very low-income and low-income households. More specifically, the 2020 countywide homeless count found that a single mother heads 20% of homeless families.

As Los Angeles County's longest-serving charity dedicated to serving children, youth, and families, Maryvale has a long history of caring for children and is uniquely qualified to help address the crisis of family homelessness by supporting single mothers with young children in Los Angeles County through the integration of its housing, early education, and mental health services.

Further, Maryvale's Rosemead early childhood education program, begun in 1968, provides an invaluable resource to over 150 children and their families each year. The program prepares each child for a lifetime love of learning and education success through its academic and child-focused curriculum, low child-to-adult ratios for more individualized attention, and a safe, nurturing environment.

Finally, Maryvale's community-based mental health services provide much needed support to children, youth, and families who are struggling with mental health and substance use challenges.

I ask that you approve Maryvale's application to continue these much-needed services in our community and address the moral crisis of family and child poverty in our state.

Sincerely,

A handwritten signature in black ink, appearing to read "Shimica Gaskins".

Shimica Gaskins  
President & CEO

# Sanfilippo Construction

106 Palmetto Drive, Suite E, Pasadena, CA 91105 (626)535-0944, License #B435054

August 26, 2024

Members  
Rosemead Planning Commission  
8838 East Valley Boulevard  
Rosemead, CA 91770

*RE: Support for Maryvale Planned Development Application 23-01*

Dear Members of the Planning Commission,

Sanfilippo Construction is pleased to support Maryvale's planned development application to permit the continued operation and maintenance of its historic uses including temporary housing, early education, and mental health programs. For 168 years, 71 of which have been at its current Rosemead site, Maryvale has been a beacon of hope and served those most in need in Los Angeles County.

Most recently, Maryvale has opened Seton House to assist single mothers with up to two children under the age of 10 who are facing housing insecurity. As we all know, the need is urgent! It is estimated that 58% of Los Angeles tenants are rent burdened, which means they pay more than 30% of their income to rent, with 31% being severely rent-burdened, paying more than 50% of their income to rent. Abundant Housing LA estimates that Los Angeles County has a deficit of over 700,000 homes that are affordable to very low-income and low-income households. More specifically, the 2020 countywide homeless count found that a single mother heads 20% of homeless families.

As Los Angeles County's longest-serving charity dedicated to serving children, youth, and families, Maryvale has a long history of caring for orphaned, abused, and neglected children and is uniquely qualified to help address the homelessness of young, single mothers with small children in Los Angeles County through the integration of its housing, early education, and mental health services.

Further, Maryvale's Rosemead early childhood education program, begun in 1968, provides an invaluable resource to over 150 children and their families each year. The program prepares each child for a lifetime love of learning and education success through its academic and child-focused curriculum, low child-to-adult ratios for more individualized attention, and a safe, nurturing environment.

Finally, Maryvale's community-based mental health services provide much needed support to children, youth, and families who are struggling with mental health and substance use challenges.

I ask that you approve Maryvale's application to continue these much-needed services in our community.

Sincerely,



Michael Sanfilippo  
President, Sanfilippo Construction



# Society of St. Vincent de Paul, Council of Los Angeles

**PRESIDENT**

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**EXECUTIVE DIRECTOR**

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Coyne Quinn

Hilmar Rosenast

James R. Weiss

August 26, 2024

Members

Rosemead Planning Commission

8838 East Valley Boulevard

Rosemead, CA 91770

RE: Support for Maryvale Planned Development Application 23-01

Dear Members of the Planning Commission,

The Society of St. Vincent de Paul, Council of Los Angeles is pleased to support Maryvale's planned development application to permit the continued operation and maintenance of its historic uses including temporary housing, early education, and mental health programs. For 168 years, 71 of which have been at its current Rosemead site, Maryvale has been a beacon of hope and served those most in need in Los Angeles County.

Most recently, Maryvale has opened Seton House to assist single mothers with up to two children under the age of 10 who are facing housing insecurity. As we all know, the need is urgent! It is estimated that 58% of Los Angeles tenants are rent burdened, which means they pay more than 30% of their income to rent, with 31% being severely rent-burdened, paying more than 50% of their income to rent. Abundant Housing LA estimates that Los Angeles County has a deficit of over 700,000 homes that are affordable to very low-income and low-income households. More specifically, the 2020 countywide homeless count found that a single mother heads 20% of homeless families.

As Los Angeles County's longest-serving charity dedicated to serving children, youth, and families, Maryvale has a long history of caring for orphaned, abused, and neglected children and is uniquely qualified to help address the homelessness of young, single mothers with small children in Los Angeles County through the integration of its housing, early education, and mental health services.

Further, Maryvale's Rosemead early childhood education program, begun in 1968, provides an invaluable resource to over 150 children and their families each year. The program prepares each child for a lifetime love of learning and education success through its academic and child-focused curriculum, low child-to-adult ratios for more individualized attention, and a safe, nurturing environment.

Finally, Maryvale's community-based mental health services provide much needed support to children, youth, and families who are struggling with mental health and substance use challenges.

I ask that you approve Maryvale's application to continue these much-needed services in our community.

Sincerely,

Executive Director



## Lina Do

---

**From:** Lily T. Valenzuela  
**Sent:** Monday, August 26, 2024 3:31 PM  
**To:** Daisy Ma  
**Cc:** jlazaro@maryvale.ccsend.com; Lina Do; Ericka Hernandez  
**Subject:** RE: Letter of Support for Maryvale

Your email was received. Thank you.

**Lily T. Valenzuela**  
Director of Community Development



8838 E. Valley Blvd.  
Rosemead, CA 91770  
Office: (626) 569-2142  
Cell: (323) 389-4105  
Fax: (626) 307-9218

[www.cityofrosemead.org](http://www.cityofrosemead.org)



---

**From:** Daisy Ma <DMA@cscla.org>  
**Sent:** Monday, August 26, 2024 1:06 PM  
**To:** Lily T. Valenzuela <ltrinh@cityofrosemead.org>  
**Cc:** jlazaro@maryvale.ccsend.com  
**Subject:** Letter of Support for Maryvale

**[External Email] - Use caution when opening links or attachments.**

Dear Ms. Trinh,

CSC Health supports Maryvale in their services to mothers and children at their facilities. Within its 168 years of service, Maryvale has been at this specific Rosemead site for 71 years.

Thank you to the Rosemead Planning Commission for their consideration of Maryvale's application. Attached is CSC's letter of support for Maryvale Planned Development Application 23-01 for your reference.

Regards,

Daisy Ma | Chief Officer  
Government & Community Relations  
Chinatown Service Center | CSC Health  
711 W. College #388, Los Angeles, CA 90012  
Direct Line: (213) 808-1703 | Cell: (323) 578-6068



August 26, 2024

Members  
Rosemead Planning Commission  
8838 East Valley Boulevard  
Rosemead, CA 91770

*RE: Support for Maryvale Planned Development Application 23-01*

Dear Members of the Planning Commission,

The El Monte-South El Monte Chamber of Commerce, is pleased to support Maryvale's planned development application to permit the continued operation and maintenance of its historic uses including temporary housing, early education, and mental health programs. For 168 years, 71 of which have been at its current Rosemead site, Maryvale has been a beacon of hope and served those most in need in Los Angeles County.

Most recently, Maryvale has opened Seton House to assist single mothers with up to two children under the age of 10 who are facing housing insecurity. As we all know, the need is urgent! It is estimated that 58% of Los Angeles tenants are rent burdened, which means they pay more than 30% of their income to rent, with 31% being severely rent-burdened, paying more than 50% of their income to rent. Abundant Housing LA estimates that Los Angeles County has a deficit of over 700,000 homes that are affordable to very low-income and low-income households. More specifically, the 2020 countywide homeless count found that a single mother heads 20% of homeless families.

As Los Angeles County's longest-serving charity dedicated to serving children, youth, and families, Maryvale has a long history of caring for orphaned, abused, and neglected children and is uniquely qualified to help address the homelessness of young, single mothers with small children in Los Angeles County through the integration of its housing, early education, and mental health services.

Further, Maryvale's Rosemead early childhood education program, begun in 1968, provides an invaluable resource to over 150 children and their families each year. The program prepares each child for a lifetime love of learning and education success through its academic and child-focused curriculum, low child-to-adult ratios for more individualized attention, and a safe, nurturing environment.

Finally, Maryvale's community-based mental health services provide much needed support to children, youth, and families who are struggling with mental health and substance use challenges.

I ask that you approve Maryvale's application to continue these much-needed services in our community.

Sincerely,

Chris Knight  
Chief Executive Officer

**1903 N. DURFEE AVENUE, SUITE 4 • SOUTH EL MONTE, CA 91733**  
**P.O. BOX 5866 • EL MONTE, CA 91734**

Phone: 626 443 0180 Fax: 626 443 0462 CHAMBER@EMSCCM.ORG WWW.EMSCCM.ORG



August 26, 2024

Members  
Rosemead Planning Commission  
8838 East Valley Boulevard  
Rosemead, CA 91770

*RE: Support for Maryvale Planned Development Application 23-01*

Dear Members of the Planning Commission,

End Homelessness California DBA The Shower of Hope is pleased to support Maryvale's planned development application to permit the continued operation and maintenance of its historic uses including temporary housing, early education, and mental health programs. For 168 years, 71 of which have been at its current Rosemead site, Maryvale has been a beacon of hope and served those most in need in Los Angeles County.

Most recently, Maryvale has opened Seton House to assist single mothers with up to two children under the age of 10 who are facing housing insecurity. As we all know, the need is urgent! It is estimated that 58% of Los Angeles tenants are rent burdened, which means they pay more than 30% of their income to rent, with 31% being severely rent-burdened, paying more than 50% of their income to rent. Abundant Housing LA estimates that Los Angeles County has a deficit of over 700,000 homes that are affordable to very low-income and low-income households. More specifically, the 2020 countywide homeless count found that a single mother heads 20% of homeless families.

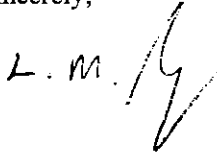
As Los Angeles County's longest-serving charity dedicated to serving children, youth, and families, Maryvale has a long history of caring for orphaned, abused, and neglected children and is uniquely qualified to help address the homelessness of young, single mothers with small children in Los Angeles County through the integration of its housing, early education, and mental health services.

Further, Maryvale's Rosemead early childhood education program, begun in 1968, provides an invaluable resource to over 150 children and their families each year. The program prepares each child for a lifetime love of learning and education success through its academic and child-focused curriculum, low child-to-adult ratios for more individualized attention, and a safe, nurturing environment.

Finally, Maryvale's community-based mental health services provide much needed support to children, youth, and families who are struggling with mental health and substance use challenges.

I ask that you approve Maryvale's application to continue these much-needed services in our community.

Sincerely,

A handwritten signature in black ink, appearing to read "L. M. Tillekeratne". The signature is written in a cursive style with a large, stylized initial "M" at the end.

Mel Tillekeratne  
Executive Director & Co-Founder  
End Homelessness California  
DBA The Shower of Hope



August 26, 2024

Members  
Rosemead Planning Commission  
8838 East Valley Boulevard  
Rosemead, CA 91770

*RE: Support for Maryvale Planned Development Application 23-01*

Dear Members of the Planning Commission,

The Los Angeles Maryvale Guild is pleased to support Maryvale's planned development application to permit the continued operation and maintenance of its historic uses including temporary housing, early education, and mental health programs. For 168 years, 71 of which have been at its current Rosemead site, Maryvale has been a beacon of hope and served those most in need in Los Angeles County. The Los Angeles Maryvale Guild (formerly known as the Los Angeles Orphanage Guild) has supported Maryvale since the 1950s.

Most recently, Maryvale has opened Seton House to assist single mothers with up to two children under the age of 10 who are facing housing insecurity. As we all know, the need is urgent! It is estimated that 58% of Los Angeles tenants are rent burdened, which means they pay more than 30% of their income to rent, with 31% being severely rent-burdened, paying more than 50% of their income to rent. Abundant Housing LA estimates that Los Angeles County has a deficit of over 700,000 homes that are affordable to very low-income and low-income households. More specifically, the 2020 countywide homeless count found that a single mother heads 20% of homeless families. Seton House financial support is the Los Angeles Maryvale Guild's mission.

As Los Angeles County's longest-serving charity dedicated to serving children, youth, and families, Maryvale has a long history of caring for orphaned, abused, and neglected children and is uniquely qualified to help address the homelessness of young, single mothers with small children in Los Angeles County through the integration of its housing, early education, and mental health services.

Further, Maryvale's Rosemead early childhood education program, begun in 1968, provides an invaluable resource to over 150 children and their families each year. The program prepares each child for a lifetime love of learning and education success through its academic and child-focused curriculum, low child-to-adult ratios for more individualized attention, and a safe, nurturing environment.

Finally, Maryvale's community-based mental health services provide much needed support to children, youth, and families who are struggling with mental health and substance use challenges.

We ask that you approve Maryvale's application to continue these much-needed services in our community.

Sincerely,

Patricia Summers  
Co-President  
(626) 437-6278  
[Patricia.summers415@gmail.com](mailto:Patricia.summers415@gmail.com)

Deborah Caldwell  
Co-President  
(818) 486-6406  
[Dfjc123@aol.com](mailto:Dfjc123@aol.com)

The Los Angeles Maryvale Guild a (501)(c)(3)  
149 S. Barrington Avenue  
Suite 332  
Los Angeles, CA 90049



August 26, 2024

Members  
Rosemead Planning Commission  
8838 East Valley Boulevard  
Rosemead, CA 91770

*RE: Support for Maryvale Planned Development Application 23-01*

Dear Members of the Planning Commission,

Catalyst SGV is pleased to support Maryvale's planned development application to permit the continued operation and maintenance of its historic uses including temporary housing, early education, and mental health programs. For 168 years, 71 of which have been at its current Rosemead site, Maryvale has been a beacon of hope and served those most in need in Los Angeles County.

Most recently, Maryvale has opened Seton House to assist single mothers with up to two children under the age of 10 who are facing housing insecurity. As we all know, the need is urgent! It is estimated that 58% of Los Angeles tenants are rent burdened, which means they pay more than 30% of their income to rent, with 31% being severely rent-burdened, paying more than 50% of their income to rent. Abundant Housing LA estimates that Los Angeles County has a deficit of over 700,000 homes that are affordable to very low-income and low-income households. More specifically, the 2020 countywide homeless count found that a single mother heads 20% of homeless families.

Catalyst SGV has worked with single moms that have benefited directly from Seton House and this new program. Programs like Seton House give much needed capacity to help families in crisis in the SGV, of which there are so few facilities available in our area. Many of our families are "hidden homeless" who you will not see on the street but need these preventative services to keep them off the streets and on a trajectory towards success rather a downward spiral, which many studies have shown housing insecurity to adversely affect the trajectory of success for their children: higher incidences of negative mental, behavioral and physical health as well as learning delays and academic problems in the classroom

As Los Angeles County's longest-serving charity dedicated to serving children, youth, and families, Maryvale has a long history of caring for orphaned, abused, and neglected children and is uniquely qualified to help address the homelessness of young, single mothers with small children in Los Angeles County through the integration of its housing, early education, and mental health services.

Finally, Maryvale's community-based mental health services provide much needed support to children, youth, and families who are struggling with mental health and substance use challenges.

I ask that you approve Maryvale's application to continue these much-needed services in our community. Let's work together to prevent the downward spiral of housing insecurity for local families in the SGV.

Sincerely,

*Jesse Chang*

Jesse Chang  
Executive Director

Address: 20 W. Commonwealth Ave, Alhambra, CA 91801

Website: [www.catalystsgv.org](http://www.catalystsgv.org)

E-mail: [info@catalystsgv.org](mailto:info@catalystsgv.org)





August 26, 2024

Members  
Rosemead Planning Commission  
8838 East Valley Boulevard  
Rosemead, CA 91770

*RE: Support for Maryvale Planned Development Application 23-01*

Dear Members of the Planning Commission,

End Homelessness California DBA The Shower of Hope is pleased to support Maryvale's planned development application to permit the continued operation and maintenance of its historic uses including temporary housing, early education, and mental health programs. For 168 years, 71 of which have been at its current Rosemead site, Maryvale has been a beacon of hope and served those most in need in Los Angeles County.

Most recently, Maryvale has opened Seton House to assist single mothers with up to two children under the age of 10 who are facing housing insecurity. As we all know, the need is urgent! It is estimated that 58% of Los Angeles tenants are rent burdened, which means they pay more than 30% of their income to rent, with 31% being severely rent-burdened, paying more than 50% of their income to rent. Abundant Housing LA estimates that Los Angeles County has a deficit of over 700,000 homes that are affordable to very low-income and low-income households. More specifically, the 2020 countywide homeless count found that a single mother heads 20% of homeless families.

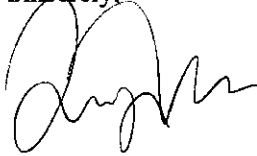
As Los Angeles County's longest-serving charity dedicated to serving children, youth, and families, Maryvale has a long history of caring for orphaned, abused, and neglected children and is uniquely qualified to help address the homelessness of young, single mothers with small children in Los Angeles County through the integration of its housing, early education, and mental health services.

Further, Maryvale's Rosemead early childhood education program, begun in 1968, provides an invaluable resource to over 150 children and their families each year. The program prepares each child for a lifetime love of learning and education success through its academic and child-focused curriculum, low child-to-adult ratios for more individualized attention, and a safe, nurturing environment.

Finally, Maryvale's community-based mental health services provide much needed support to children, youth, and families who are struggling with mental health and substance use challenges.

I ask that you approve Maryvale's application to continue these much-needed services in our community.

Sincerely,

A handwritten signature in black ink, appearing to read 'Raymond Mora', written in a cursive style.

**Raymond Mora**  
Programs & Support Manager  
End Homelessness California  
DBA The Shower of Hope



August 26, 2024

Rosemead Planning Commission; Members  
8838 East Valley Boulevard  
Rosemead, CA 91770

RE: Support for Maryvale Planned Development Application 23-01

Dear Members of the Planning Commission,

I, Ralph Segarra, Project Manager for Great Minds in STEM (GMiS), highly recommend Maryvale's planned development application to permit the continued operation and maintenance of its historic uses including temporary housing, early education, and mental health programs. The current Maryvale Rosemead site, has been a beacon of hope for 71 years and served those most in need in Los Angeles County. Maryvale has touched and rescued the lives of so many underserved people in desperate need of assistance.

Maryvale opened Seton House to assist single mothers with up to two children under the age of 10 who are facing housing insecurity. The Seton House is committed to providing much needed housing and essential services to people who are in critical need. Maryvale seeks to provide safe, temporary housing for single mothers, empowering them with tools to help change their lives. They offer special assistance to mothers who have frequently been homeless to help grow their skills and cultivate independent, self-sufficient lifestyles.

Their education program offers children the opportunity to increase their self-esteem, develop their skills set and educate them in the much-needed areas of STEM. Maryvale services help Family Housing residents benefit from guidance and support by addressing their struggles and building a team of Housing and Peer Specialists, Employment Coordinators and Councilors around them to be successful.

Maryvale's community-based mental health services provide much needed support to children, youth, and families who are struggling with mental health and substance abuse challenges.

The Leadership organization under the direction of Steve Gunther, President & Chief Executive Officer are stellar. Under his "laser focused" leadership and dedication, Maryvale will continue to provide a quality of life and hope for those most in need and is a testament to the success of Maryvale that will leave a legacy for many years to come.

I ask that you approve Maryvale's application to continue these much-needed services in the community.

Ralph Segarra  
GMiS, Project Manager  
[rsegarra@greatmindsinstem.org](mailto:rsegarra@greatmindsinstem.org)  
909-821-3712

8/26/2024

Rosemead City Council  
8838 East Valley Boulevard  
Rosemead, CA 91770

*RE: Support for Maryvale Planned Development Application 23-01*

Dear Members of the Rosemead City Council,

I am writing to express my wholehearted support for the Maryvale planned development application that has been submitted for your consideration.

Having personally witnessed the remarkable work and positive influence of Maryvale, I consider it a privilege to offer my endorsement for their application.

*My connection with Maryvale is more than just that of a bystander, it is deeply personal to me. It's been a place where help can be found in every single person that works at the agency. It's full of efforts and programs that are benefiting the community during this difficult time where mental health is needed everywhere.*

Maryvale's long history of serving children, youth, and families in Los Angeles since 1856 and specifically at its Rosemead location beginning in 1953 is remarkable. Maryvale has been, and continues to be, a pillar in the community, even before the City of Rosemead was incorporated.

Starting in 1968, Maryvale has provided quality early childhood education to thousands of children from the community. Through its residential and temporary housing programs on the Rosemead campus, Maryvale has met the needs of over 8,000 children and adults including foster youth, Cuban and Vietnamese refugees, and single mothers with young children.

Throughout its history, Maryvale has continuously evolved to meet the ever-changing needs of our society. From providing refuge to those in need, to offering vital educational and mental health resources, Maryvale has remained steadfast in its commitment to serving the most vulnerable among us. As we look back on the decades of tireless dedication and unwavering service, it is abundantly clear that Maryvale is not just an organization, but a cornerstone of our community's strength and resilience.

Maryvale's presence in our community will undoubtedly continue to bring about significant benefits and positively impact the lives of those they serve. Their dedication, passion, and expertise make them an invaluable asset to the community.

In conclusion, I stand firmly in support of Maryvale's application as they continue providing exceptional service while creating lasting change in Rosemead and its surrounding communities.

Sincerely,

Maeva Fabila  
2502 E. Huntington Dr.  
Duarte, CA 91010

August 27, 2024

Members

Rosemead Planning Commission  
8838 East Valley Boulevard  
Rosemead, CA 91770

*RE: Support for Maryvale Planned Development Application 23-01*

Dear Members of the Planning Commission,

I am pleased to lend my support to Maryvale's planned development application to permit the continued operation and maintenance of its historic uses including temporary housing, early education, and mental health programs. For 168 years, 71 of which have been at its current Rosemead site, Maryvale has been a beacon of hope and served those most in need in Los Angeles County.

Most recently, Maryvale has opened Seton House to assist single mothers with up to two children under the age of 10 who are facing housing insecurity. As we all know, the need is urgent! It is estimated that 58% of Los Angeles tenants are rent burdened, which means they pay more than 30% of their income to rent, with 31% being severely rent-burdened, paying more than 50% of their income to rent. Abundant Housing LA estimates that Los Angeles County has a deficit of over 700,000 homes that are affordable to very low-income and low-income households. More specifically, the 2020 countywide homeless count found that a single mother heads 20% of homeless families.

As Los Angeles County's longest-serving charity dedicated to serving children, youth, and families, Maryvale has a long history of caring for orphaned, abused, and neglected children and is uniquely qualified to help address the homelessness of young, single mothers with small children in Los Angeles County through the integration of its housing, early education, and mental health services.

Further, Maryvale's Rosemead early childhood education program, begun in 1968, provides an invaluable resource to over 150 children and their families each year. The program prepares each child for a lifetime love of learning and education success through its academic and child-focused curriculum, low child-to-adult ratios for more individualized attention, and a safe, nurturing environment.

Finally, Maryvale's community-based mental health services provide much needed support to children, youth, and families who are struggling with mental health and substance use challenges.

As a longtime supporter, with past personal family experience in the work that was started by the Sisters of Charity, I ask that you approve Maryvale's application to continue these much-needed services that have successfully benefited this community and county of Los Angeles for over a century.

Sincerely,

Mary M. Canobbio, RN, MN, FAAN,  
UCLA School of Nursing (retired)

## Lina Do

---

**From:** Lily T. Valenzuela  
**Sent:** Wednesday, August 28, 2024 1:59 PM  
**To:** Lina Do  
**Subject:** FW: Maryvale Planned Development Application

FYI

**Lily T. Valenzuela**  
Director of Community Development



8838 E. Valley Blvd.  
Rosemead, CA 91770  
Office: (626) 569-2142  
Cell: (323) 389-4105  
Fax: (626) 307-9218  
[www.cityofrosemead.org](http://www.cityofrosemead.org)



---

**From:** judith seki  
**Sent:** Wednesday, August 28, 2024 12:32 PM  
**To:** Lily T. Valenzuela <ltrinh@cityofrosemead.org>  
**Subject:** Maryvale Planned Development Application

**[External Email] - Use caution when opening links or attachments.**

Lily T. Valenzuela  
Director of Community Development  
City of Rosemead

Good Afternoon Ms. Valenzuela,

My name is Judith Seki, and I am a member of the Board of Directors of GPS-Guadalupe Pregnancy Services in Rosemead. I am writing to ask your support of the Planned Development Application being submitted by Maryvale.

Our center assists mothers and babies from pregnancy to preschool. We are all trained volunteers, and we provide monthly counseling, education, material resources, and community referrals. Many of our clients reside at nearby Maryvale, and we have been able to meet with them and also continue to support them after they transition to other housing. During our meetings with clients, my fellow counselors and I have heard the testimony of so many residents who are thankful for the support and various programs offered at Maryvale.

Therefore, we at Guadalupe Pregnancy Services are requesting that you support Maryvale in their efforts to expand their facilities and services so that more women and children can benefit from this very necessary community resource.

Thank you.

**Judith Seki**

Member, Board of Directors

GPS-Guadalupe Pregnancy Services

1168 San Gabriel Blvd. #E-G

Rosemead, CA 91770

(626)872-2483

August 27, 2024

Members  
Rosemead Planning Commission  
8838 East Valley Boulevard  
Rosemead, CA 91770

*RE: Support for Maryvale Planned Development Application 23-01*

Dear Members of the Planning Commission,

I am pleased to support Maryvale's planned development application to permit the continued operation and maintenance of its historic uses including temporary housing, early education, and mental health programs. For 168 years, 71 of which have been at its current Rosemead site, Maryvale has been a beacon of hope and served those most in need in Los Angeles County.

Most recently, Maryvale has opened Seton House to assist single mothers with up to two children under the age of 10 who are facing housing insecurity. As we all know, the need is urgent! It is estimated that 58% of Los Angeles tenants are rent burdened, which means they pay more than 30% of their income to rent, with 31% being severely rent-burdened, paying more than 50% of their income to rent. Abundant Housing LA estimates that Los Angeles County has a deficit of over 700,000 homes that are affordable to very low-income and low-income households. Most specifically, the 2020 countywide homeless count found that a single mother heads 20% of homeless families.

As Los Angeles County's longest-serving charity dedicated to serving children, youth, and families, Maryvale has a long history of caring for Orphaned, abused, and neglected children and is uniquely qualified to help address the homelessness of young, single mothers with small children in Los Angeles County through the integration of its housing, early education, and mental health services.

Further, Maryvale's Rosemead early childhood education program, begun in 1968, provides an invaluable resource to over 150 children and their families each year. The program prepares each child for a lifetime love of learning and education success through its academic and child-focused curriculum, low child-to-adult ratios for more individualized attention, and a safe, nurturing environment.

Finally, Maryvale's community-based mental health services provide much needed support to children, youth, and families who are struggling with mental health and substance use challenges.

I ask that you approve Maryvale's application to continue these much-needed services in your community. I had the privilege of being a beneficiary of their care in my youth.

Sincerely,

  
Christine I. Rapoza, PsyD





# BOARD OF SUPERVISORS COUNTY OF LOS ANGELES

856 KENNETH HAHN HALL OF ADMINISTRATION / LOS ANGELES, CALIFORNIA 90012

Telephone (213) 974-4111 / FAX (213) 613-1739

**HILDA L. SOLIS**

SUPERVISOR, FIRST DISTRICT

September 3, 2024

James Berry  
Rosemead Planning Commission Chair  
8838 East Valley Boulevard  
Rosemead, CA 91770

**RE: Support for Maryvale Planned Development Application 23-01**

Dear Mr. Berry,

As Supervisor to the First District of Los Angeles County, which includes the City of Rosemead, I am proud to support Maryvale's planned development application to permit the continued operation and maintenance of its historic uses including temporary housing, early education, and mental health programs. As Los Angeles County's longest-serving charity dedicated to serving children, youth, and families, Maryvale has a long history of caring for orphaned, abused, and neglected children. For 168 years, 71 of which have been at its current Rosemead site, Maryvale has provided essential services that offer a beacon of hope to and transform the lives of the County's most vulnerable residents.

Maryvale's services are helping to tackle the County's most intractable challenges. For example, Maryvale recently opened Seton House to assist single mothers with up to two children under the age of 10 who are facing housing insecurity. The need to support housing insecure families is great. Over the last year, we have seen the number of families served by the County's homeless services system grow by 45%. These are families often with young children, and I appreciate Maryvale's commitment to ensuring these children have a safe place to live. Maryvale also supports unhoused, female community college students. These are young women working to improve their lives by pursuing higher education. I met with participants of this program, and I am heartened to know these women have a safe place to live so that they can focus on their studies and succeed in their academic journey.



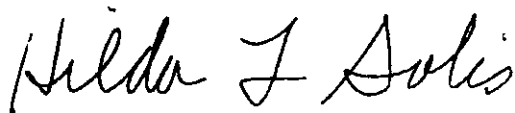
James Berry  
Rosemead Planning Commission Chair  
September 3, 2024  
Page 2

Further, Maryvale's Rosemead early childhood education program, provides an invaluable resource to over 150 children and their families each year. The program prepares each child for a lifetime love of learning and education success through its academic and child-focused curriculum, low child-to-adult ratios for more individualized attention, and a safe, nurturing environment.

Finally, Maryvale's community-based mental health services provide much needed support to children, youth, and families who are struggling with mental health and substance use challenges.

Maryvale is an important partner in the County's effort to provide resources that improve the lives of our most vulnerable residents. I ask that you approve Maryvale's application to continue these much-needed services in our community. If you have any questions, please contact my Senior Advisor, Daniella Urbina at [DUrbina@bos.lacounty.gov](mailto:DUrbina@bos.lacounty.gov).

Sincerely,



**HILDA L. SOLIS**  
Supervisor, First District

CC: Emma Escobar, Rosemead Planning Commission Vice Chair  
Daniel Lopez, Rosemead Planning Commissioner  
John Tang, Rosemead Planning Commissioner  
Lana Ung, Rosemead Planning Commissioner

50 Kewen Place  
San Marino, CA 91108  
September 1, 2024

Rosemead Planning Commission  
8838 East Valley Boulevard  
Rosemead, CA 91770

RE: SUPPORT FOR MARYVALE PLANNED DEVELOPMENT APPLICATION 23-01

Dear Members of the Rosemead Planning Commission,

As a supporter and donor to Maryvale, I am eager to express my strong support for Maryvale's planned development application to permit the continued operation and maintenance of its historic uses including much-needed and compassionate temporary housing, early education, and mental health programs in the greater community. Since its founding 168 years ago (71 at its current campus in Rosemead), Maryvale has served those most in need in Los Angeles County.

As our community's needs have shifted, Maryvale has compassionately reached out to care for those in need. Most recently, it opened Seton House to assist housing insecure single mothers with up to two children under age 10. This need is urgent and persistent! Los Angeles County and the Rosemead area are impacted greatly by the high cost of housing and the fact that the majority of renters are rent burdened or severely rent burdened (30-50% of their incomes go to rent) making the opportunity to become housing insecure or homeless very real. According to a 2020 countywide homeless count, single mothers head 20% of homeless families and are needing resources to lift them and their children up.

Maryvale is Los Angeles County's longest-serving charity dedicated to serving children, youth, and families. It has a long history of caring for orphaned, abused and neglected children and is uniquely qualified to help address the homelessness of young, single mothers and change the trajectory of their and their children's lives by providing integrated housing, early education, mental health, and social services.

Today, Maryvale Rosemead's early education program provides an invaluable resource to more than 150 children and their families each year with a child-focused curriculum and family-centered approach. And Maryvale's community-based mental health services provide much-needed support to children, youth, and families who are struggling with mental health and substance use challenges. Several schools count on Maryvale for these critical services.

I urge you to thoughtfully approve Maryvale's application to continue these much-needed, vital services for our community and enable it to continue to serve our community's most fragile as needs evolve over time as a true partner to the City of Rosemead, local families, and our school districts.

Sincerely,

Judy A. Johnson  
Donor, Supporter of Maryvale



September 16, 2024  
Rosemead Planning Commission  
8838 East Valley Boulevard  
Rosemead, CA 91770

**RE: Support for Maryvale Planned Development Application 23-01**

Dear Members of the Planning Commission,  
Alhambra Chamber of Commerce is pleased to support Maryvale's planned development application to permit the continued operation and maintenance of its historic uses including temporary housing, early education, and mental health programs. For 168 years, 71 of which have been at its current Rosemead site, Maryvale has been a beacon of hope and served those most in need in Los Angeles County.

Most recently, Maryvale has opened Seton House to assist single mothers with up to two children under the age of 10 who are facing housing insecurity. As we all know, the need is urgent! It is estimated that 58% of Los Angeles tenants are rent burdened, which means they pay more than 30% of their income to rent, with 31% being severely rent-burdened, paying more than 50% of their income to rent. Abundant Housing LA estimates that Los Angeles County has a deficit of over 700,000 homes that are affordable to very low-income and low-income households. More specifically, the 2020 countywide homeless count found that a single mother heads 20% of homeless families.

As Los Angeles County's longest-serving charity dedicated to serving children, youth, and families, Maryvale has a long history of caring for orphaned, abused, and neglected children and is uniquely qualified to help address the homelessness of young, single mothers with small children in Los Angeles County through the integration of its housing, early education, and mental health services.

Further, Maryvale's Rosemead early childhood education program, begun in 1968, provides an invaluable resource to over 150 children and their families each year. The program prepares each child for a lifetime love of learning and education success through its academic and child-focused curriculum, low child-to-adult ratios for more individualized attention, and a safe, nurturing environment.

Finally, Maryvale's community-based mental health services provide much needed support to children, youth, and families who are struggling with mental health and substance use challenges.

I ask that you approve Maryvale's application to continue these much-needed services in our community.

Sincerely,

A handwritten signature in black ink that reads "John Bwarie".

John Bwarie  
CEO, Alhambra Chamber of Commerce



## Attachment F

Project Description Dated

June 14, 2024

**Maryvale – Rosemead Campus  
7600 Graves Avenue**

**Approvals Requested and Project Description**

---

**I. Approvals Requested**

Maryvale is the owner and applicant (“Applicant”) of the property located at 7600 Graves Avenue (the “Site”) in the City of Rosemead (“City”) located on Assessor Parcel Number (“APN”) 5285-016-020. The Site is currently developed as a religious/institutional use that historically provides community services, such as supportive and transitional housing for all ages. The Site includes multiple structures of varying height. (see Figure 1). The Applicant seeks approvals for the following, which shall constitute the “Project” herein:

- i. Permit the continued operation and maintenance of the Maryvale campus, inclusive of a mix of uses consistent with its historic operation, including: Religious/institutional, supportive and transitional housing (no age or gender restrictions), early education, daycare, mental health services, administrative offices, open space, and parking areas.

Pursuant to Title 17, Article 2, of the City of Rosemead’s Municipal Code (the “Code” or “RMC”) the Applicant hereby requests the following entitlements to permit the proposed Project:

- Planned Development (P-D) Modification to change and amend the permissible uses within the existing P-D zone of the Site, subject to RMC § 17.24.040.

Figure 1



## II. Project Description and Justification

The Project consists of the continued use and maintenance of the existing Maryvale campus as an institution with community serving uses, including the below land uses. No physical expansion of existing structures is contemplated as part of this application.

- Religious/Institutional
- Transitional Housing
- Supportive Housing
- Mental Health Services
- Community/Wraparound Services
- Early Education
- Administrative Offices
- Open Space and Recreation
- Parking

The purpose of this planned development application is to recognize Maryvale's long history of providing these community serving uses on both regular and seasonal basis since its original opening in 1856. Maryvale moved to its current campus in Rosemead in 1953, six years prior to the City's incorporation and then still unincorporated County land. Since 1953, Maryvale has continued to provide important community services and programs for at-risk children and adults.

This application is intended to recognize the above land uses as permissible throughout the campus, without the requirement to continually request revisions to the planned development permit based on program changes, such as the target population being served. Instead, the final planned development permit would recognize and permit programs that fall under the general land uses described above. Further, many programs and uses rely on the availability of state and local funding, and it is typical that a specific program or use may be active for a period of 6-12 months before discontinuing for another program or use, and/or new funding is made available. As a result, it is important that the planned development permit recognize that the cessation of one land use for a period of time does not in of and itself surrender the right to continue that use at a future date, so long as the entirety of the campus remains in use. This is no different from a typical shopping center approved under a planned development approval, which includes several commercial uses as tenant spaces. Should one retail tenant space, for example, become vacant for a long period of time due to economic conditions, the shopping center would not have surrendered its right to permit another retail use, perhaps targeting a different consumer than the previous, to occupy that same tenant space.

Maryvale is in a unique position to provide a variety of much-needed services to the community, including the physical space and operational flexibility to meet changing and evolving community needs. A modified planned development that permits such flexibility is in the public interest, particularly as our community grapples with the challenges of a housing and economic crisis. Existing programs include, but are not limited to, the programs below. However as discussed above, the intent of this application is to permit not only the below programs but similar and related programs as associated with the above land uses, subject only to restrictions consistent with state law and guidance.

**Community-Based Mental Health Services** – Services include affordable outpatient services focused on prevention and early intervention, for children/youth (up to age 25) and their families experiencing behaviors that are creating difficulties in one or more areas of their lives. Maryvale

also offers Wraparound support services for at-risk children and families who need case management and mental health services to stay together in a safe and healthy home. Services are offered to the San Gabriel Valley community on site, in client homes/schools, or virtually. Individuals are referred through the Los Angeles County Department of Mental Health (DMH), school districts, and other sources.

Maryvale therapists work collaboratively with each family from a strength-based, family-centered and trauma-informed model. Services provided include evidence-based psychotherapy services, case management, linkage to community resources and parenting support to strengthen families and improve health outcomes for children. These services are available on-campus daily from 8:00 AM to 10:00 PM.

**Early Education Services** – The Early Education Center (EEC) creates a safe and nurturing environment in which children and families are provided the opportunity to participate in an early learning setting that will set the foundation for future life experiences. Through developmentally appropriate activities and interactions, Maryvale provides creative experiences for children to grow socially, emotionally, physically, cognitively, and linguistically at their own pace and individual developmental level. Interactions are guided by the concept that children who are consistently exposed to healthy social, emotional, and physical learning opportunities early in their development will be infused with the skills and confidence necessary to be successful in school and into their adult years. Program goals include:

- Helping children develop a healthy self-esteem.
- Allowing children to learn through discovery and play.
- Offering developmentally appropriate activities that help children develop physically, emotionally, intellectually, socially and spiritually.
- Providing space, equipment and, most importantly, teachers and administrators that aid in the children's development.
- Allowing each child to develop a warm relationship with at least one adult.
- Involving children in some aspect of planning their own activities.
- Believing in the value of all children and helping children appreciate the diversity and uniqueness of their peers.
- Helping children develop social and living skills in their community.
- Encouraging the expression of feelings – sadness, joy, etc. – and responding to those feelings appropriately.
- Acknowledging and celebrating the diversity of all children, families and staff, taking care to create a space where all are welcomed and accepted.
- Taking action to ensure that all children are included in engaging activities that meet their individual needs, with a focus on access, participation and support.

The EEC serves up to 120 children from birth to enrollment in kindergarten and Maryvale offers subsidized enrollment for qualifying low-income families through funding from State contracts. These services are available on-campus daily from 7:00 AM to 7:00 PM.

**Seton House** –Seton House provides a maximum of six months of temporary housing to nine mothers with up to two children under 10 years of age who face housing insecurity, affording the women a safe place to sleep and care for their child(ren) while seeking permanent housing solutions. Each mother is required to participate in case management, support groups, individual and group therapy, life skills, and parenting training.



During their stay at Seton House, residents work on an eight-step program through a collaborative approach to empowerment as the keystone for developing self-sufficiency. The steps include personal development, vocational training, substance use counseling, interpersonal skills building, community involvement, leisure activities, and independent living skills. Staff manage, monitor, and support the residents in achieving a more permanent housing solution. The goal is to provide unhoused or housing insecure mothers a positive environment that provides support, safety, and resources to assist in developing life skills necessary for self-sufficiency before entering permanent housing. Each resident participates in weekly case management to establish and review progress towards reaching her individual goals.

Maryvale is in a unique position to provide its integrated services – housing, early education, and mental health – to the residents of the program. On-campus housing is available on a 24/7 basis.

**Seton House Expansion** – Maryvale seeks to expand the Seton House program by 20 residents through the renovation of a current dorm building on campus (Laboure building). By converting the current space into 20 individual living units with attached bathrooms, Maryvale will be able to provide temporary housing and supportive services to 29 mothers and their children on the Rosemead campus.

**Hope Housing for Students** – In partnership with Maryvale and operated by End Homelessness California (501c3), the program offers 14 beds for East LA Community College female students aged 18-28 struggling with housing insecurity, including domestic violence and homelessness. Students receive free housing, access to regular meals, clothing, and other basic needs. All participants receive case management and mental health services for identifying and addressing trauma-related illnesses to improve their well-being. The program also offers free one-on-one tutoring to ensure academic success, guidance, and support toward transitioning to 4-year universities. Each student receives training, support, advice, and structure through workshops for life skills such as financial literacy, healthy eating, art, and physical well-being. The organization keeps track of multiple metrics, including but not limited to all units attempted, dropped, and passed, mental health counseling hours, tutoring hours, individual check-ins, work hours & volunteer hours, to ensure effectiveness of the program. On-campus housing is available on a 24/7 basis.

#### *i. Campus Operations*

To provide these services, Maryvale employs a team of dedicated and skilled professional staff. These include regular campus administrative staff and campus security, and program-specific staff, such as program directors, supervisors, case managers, teachers, and advisors. These services are available on a daily basis during the length of the program's operations. Further, the safety of program participants and neighbors is of paramount importance to the success of Maryvale and its programs. Maryvale uses a 24 hours security surveillance system and nighttime security patrols to monitor its campus.

The campus is surrounded by a perimeter fence with primary ingress/egress through its main gate on Graves Avenue, which remains open primarily between the hours of 5:30 AM and 10:00 PM, depending on program activities for the day. Campus administration operates normal hours between 8:00 AM and 5:00 PM, however the campus remains open at varying hours depending on the active program and services.



## Attachment G

## Architectural Plans

ABBREVIATIONS	
&	AND
@	AT
#	POUND OR NUMBER
(E)	EXISTING
(N)	NEW
A.B.	ANCHOR BOLT
A/C	AIR CONDITIONING
AC TILE	ACOUSTICAL TILE
ALT.	ALTERNATE
APPROX.	APPROXIMATELY
ARCH.	ARCHITECTURAL
ASSY	ASSEMBLY
A.V	AUDIO-VISUAL
BD.	BOARD
BLDG.	BUILDING
BLK.	BLOCK
BOT.	BOTTOM
CAB.	CABINET
CEM.	CEMENT
C.J.	CONSTRUCTION JOINT
C.L.	CENTER LINE
CLG.	CEILING
CLR.	CLEAR
CMU	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
COMP.	COMPOSITION
COND.	CONDITION
CONN.	CONNECTION
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
CONTR.	CONTRACTOR
CPT.	CARPET
CTR.	CENTER
DBL.	DOUBLE
DEPT.	DEPARTMENT
DET.	DETAIL
D.F.	DRINKING FOUNTAIN
DIA.	DIAMETER
DIAG.	DIAGONAL
DF F.	DIFFUSER
DM.	DIMENSION
DISP.	DISPOSAL
DN.	DOWN
D.S.	DOWNSPOUT
D.W.	DISHWASHER
DWG.	DRAWING
EA.	EACH
EL.	ELEVATION
ELEC.	ELECTRICAL
ENCL.	ENCLOSURE
ENG.	ENGINEER
EQ.	EQUAL
EQPT.	EQUIPMENT
EXH.	EXHAUST
EXP.	EXPANSION
EXT.	EXTERIOR
EXIST.	EXISTING

ABBREVIATIONS	
F.A.	FIRE ALARM
F.D.	FLOOR DRAIN
F.E.	FIRE DAMPER
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET
F.G.	FINISH GRADE
F.H.C.	FIRE HOSE CABINET
FRN.	FINISH
FRCT.	FIXTURE
FLR.	FLOOR
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
FT.	FOOT or FEET
GA.	GAUGE
GL.	GLASS
GRD.	GROUND
GYP. BD.	GYPSPUM BOARD
H.B.	HOSE BIBB
H.C.	HOLLOW CORE
HWDR.	HARDWARE
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HT.	HEIGHT
H.S.S.	HOLLOW STEEL SECTION
H.W.	HOT WATER
IN.	INCH
INSUL.	INSULATION
INT.	INTERIOR
JAN.	JANITOR
JOST.	JOIST
JT.	JOINT
KIT.	KITCHEN
LAM.	LAMINATE
LAV.	LAVATORY
LBS.	POUNDS
LTWT.	LIGHT WEIGHT
L.H.	LEFT HAND
L.O.	LINE OF
L.V.T.	LUXURY VINYL TILE
MACH.	MACHINE
MAS.	MASONRY
MAX.	MAXIMUM
MCH.	MECHANICAL
MET.	METAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTD.	MOUNTED
MTL.	MATERIAL
NAT.	NATURAL
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
NOM.	NOMINAL
N.T.S.	NOT TO SCALE

ABBREVIATIONS	
O.	ON or OVER
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OPG.	OPENING
OPP.	OPPOSITE
PERF.	PERFORATED
PL.	PLATE
P.L.	PROPERTY LINE
P.LAM.	PLASTIC LAMINATE
PLAS.	PLASTER
PLUMB.	PLUMBING
PLYWD.	PLYWOOD
P.O.C.	POINT OF CONNECTION
POL.	POLISHED
PT.	POINT
PTD.	PAINTED
R.	RADIUS
R.A.	RETURN AIR
R.D.	ROOF DRAIN
RECEPT.	RECEPTION AREA
RECT.	RECTANGULAR
REF.	REFERENCE
REFR.	REFRIGERATOR
REINF.	REINFORCED
REQD.	REQUIRED
REV.	REVISED, REVISION
R.H.	RIGHT HAND
RM.	ROOM
R.O.	ROUGH OPENING
S.A.	SUPPLY AIR
S.C.	SOLID CORE
SCHED.	SCHEDULE
SECT.	SECTION
SHT.	SHEET
SHTG.	SHEATHING
SIM.	SIMILAR
S.M.S.	SHEET METAL SCREW
SPEC.	SPECIFICATION
SQ.	SQUARE
S.S.	STAINLESS STEEL
STD.	STANDARD
STL.	STEEL
STOR.	STORAGE
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
SYM.	SYMMETRIC
TEMP.	TEMPERED
THK.	THICK
T.O.	TOP OF
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.C.T.	VINYL COMPOSITION TILE
W.	WITH
WD.	WOOD
W.I.C.	WOOD INSTITUTE OF CA.
WT.	WEIGHT

### GENERAL NOTES

1. THE WORK SHALL CONFORM TO THE FOLLOWING CODES AS AMENDED BY CITY ORDINANCE: C.B.C. 2019 EDITION; C.P.C. 2019 EDITION; C.E.C. 2019 EDITION; 2019 CALIFORNIA ENERGY REGULATIONS; 2019 ENERGY CODE; 2010 ADA REGULATIONS. THE WORK SHALL ALSO CONFORM TO ANY LOCAL CODES AND ORDINANCES WHICH MAY APPLY.
2. THE CONTRACTOR SHALL VISIT THE SITE, BE KNOWLEDGEABLE OF CONDITIONS THEREON, AND SHALL INVESTIGATE, VERIFY, AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE CITY OF ANY CONDITIONS REQUIRING CORRECTION OR MODIFICATION PRIOR TO PROCEEDING WITH THE WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF ALL WORK ON THE SITE.
4. ALL DIMENSIONS SHALL HAVE PREFERENCE OVER SCALE. DIMENSIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO PROCEEDING WITH THE WORK. THE OWNER SHALL BE NOTIFIED OF ANY CORRECTIONS REQUIRED.
5. NOTES AND TYPICAL DETAILS APPLY TO ALL DRAWINGS UNLESS OTHERWISE NOTED.
6. SUBSTITUTIONS AND EQUALS FOR SPECIFIED TRADE NAMES SHALL BE PERMITTED ONLY AS APPROVED BY THE OWNER AND ARCHITECT. REGARDING VISIBLE FINISH ITEMS: IMPRECISION OF COLOR, TEXTURE, PROFILE OR OTHER QUALITIES OF APPEARANCE WILL CONSTITUTE A BASIS FOR DISAPPROVAL OF SUBSTITUTIONS.
7. THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, AND TRANSPORTATION NECESSARY FOR THE COMPLETE AND PROPER EXECUTION OF THE WORK.
8. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK, AND AT THE COMPLETION OF THE WORK SHALL REMOVE ALL RUBBISH FROM AND ABOUT THE SITE, INCLUDING THEIR TOOLS, SCAFFOLDING, AND SURPLUS MATERIALS. THEY SHALL LEAVE THE JOB BROOM CLEAN.
9. TRASH AND DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A REGULAR BASIS.
10. THE CONTRACTOR SHALL PROVIDE PROPER ANCHORAGE OF ALL EQUIPMENT AND ASSEMBLIES SHOWN HEREIN IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS, TRADE AND INDUSTRY STANDARDS, AND ALL GOVERNING CODES AND ORDINANCES.
11. WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, SUBMIT A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER'S REPRESENTATIVE AND OBTAIN WRITTEN CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
12. ALL WORK SHALL BE PERFORMED TO THE HIGHEST STANDARDS OF PRACTICE FOR EACH TRADE.
13. ALL COSTS FOR PERMITS AND MISCELLANEOUS FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
14. THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES AND PROTECT THEM FROM DAMAGE AS REQUIRED.
15. ALL DISSIMILAR METALS SHALL BE SUFFICIENTLY ISOLATED FROM EACH OTHER TO PREVENT GALVANIC ACTIONS.
16. ALL PIPING, DUCTS, AND CONDUIT WHICH PENETRATE WALLS AND FLOORS SHALL BE INSTALLED IN A MANNER THAT WILL PRESERVE THE FIRE RESISTIVE, WATERPROOFING, AND STRUCTURAL INTEGRITY OF THE BUILDING.
17. CONTRACTOR TO DESIGN AND PROVIDE ALL NECESSARY SHORING AND BRACING FOR REMOVAL ITEMS OR CONSTRUCTION OF IMPROVEMENTS.

### REMOVALS

1. THE DEMOLITION PLANS ARE INTENDED TO BE SCHEMATIC ONLY, AND DO NOT ITEMIZE ALL SPECIFIC REMOVALS. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE AND PROVIDE ALL REMOVALS NECESSARY TO PROPERLY INSTALL ALL THE IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR HIS OWN INVESTIGATION OF THE EXISTING CONDITIONS, AND SHALL INCLUDE ALL NECESSARY REMOVALS IN HIS PRICING. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVALS SHALL ALSO MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL NEW IMPROVEMENT PLANS IN ORDER TO ALLOW FOR PROPER DETERMINATION OF THE EXTENT OF REMOVALS.
2. EXISTING ITEMS TO REMAIN THAT ARE DAMAGED DURING THE COURSE OF CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE CONTRACT AT NO ADDITIONAL COST TO THE OWNER.

### PATCHING NOTE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING ALL AREAS AT OR ADJACENT TO REMOVED ITEMS SPECIFIED ELSEWHERE IN THESE PLANS. THE INTENT OF PATCHING IS TO RESTORE REMOVAL AREAS TO ORIGINAL CONDITION AS CLOSE AS REASONABLY POSSIBLE. PATCHING OR RESTORATION SHALL ALSO TAKE PLACE AT ALL AREAS TO REMAIN THAT RECEIVE DAMAGE DURING THE COURSE OF CONSTRUCTION UNDER THIS CONTRACT. THE OWNER SHALL BE THE SOLE DETERMINANT AS TO THE ACCEPTABILITY OF PATCHING OR RESTORATION WORK. ALL PATCHING MATERIALS, FINISHES, COLORS SHALL MATCH ADJACENT SURFACES AS CLOSELY AS POSSIBLE.

### EXISTING FACILITY NOTE

THESE PLANS HAVE BEEN PREPARED FROM RECORD DOCUMENTS FURNISHED BY THE OWNER. ALL EXISTING INFORMATION SHOWN ON THE PLANS HAS BEEN TRANSFERRED FROM THESE DOCUMENTS. GOODALE ARCHITECTURE PLANNING HAS PROVIDED DRAFTING SERVICES ONLY WITH REGARD TO DEPICTING EXISTING IMPROVEMENTS AND CONDITIONS, AND CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF EXISTING INFORMATION SHOWN. THE CONTRACTOR NOTES DISCREPANCIES BETWEEN THE EXISTING INFORMATION SHOWN ON THESE PLANS AND ACTUAL PLANS, HE SHALL GIVE NOTICE OF SUCH DISCREPANCY TO THE OWNER OR ITS REPRESENTATIVE.

### JOB SITE RESPONSIBILITY

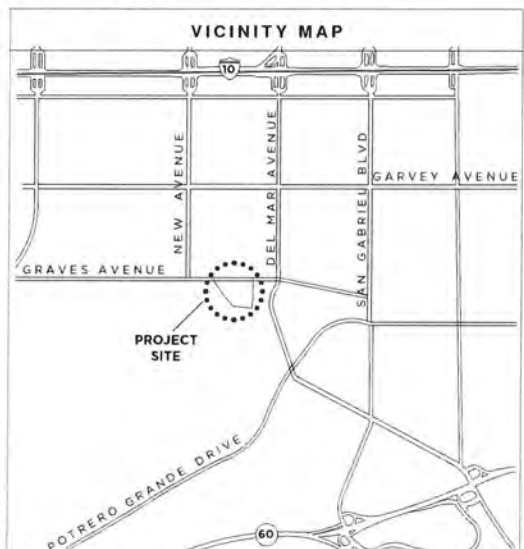
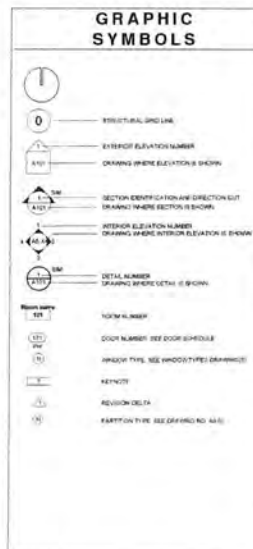
CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

### NEW IMPROVEMENTS / EXISTING IMPROVEMENTS

ALL IMPROVEMENTS SHOWN ON THE PLANS SHALL BE CONSIDERED NEW UNLESS SPECIFICALLY LABELED "EXISTING."

### POLLUTION CONTROL

CONSTRUCTION SHALL ASSURE COMPLIANCE WITH WITH THE BMPS ESTABLISHED BY THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM AND BMPS FOR STORMWATER POLLUTION CONTROL REQUIREMENTS.



### SHEET INDEX

- A-01 TITLE
- A-1.1 CODE ANALYSIS
- A-1.2 LIGHT/VENTILATION CALCS
- A-2.0 NOT USED
- A-3.1 1ST DEMOLITION PLAN
- A-3.2 2ND FLOOR DEMOLITION PLAN
- A-3.3 1ST RCP DEMOLITION PLAN
- A-3.4 2ND FLOOR RCP DEMOLITION PLAN
- A-4.0 BASEMENT FLOOR PLAN ( REF)
- A-4.1 FIRST FLOOR PLAN
- A-4.2 SECOND FLOOR PLAN
- A-5.1 FIRST FLOOR NORTHEAST
- A-5.2 FIRST FLOOR SOUTHEAST
- A-5.3 FIRST FLOOR SOUTHWEST
- A-5.4 FIRST FLOOR NORTHWEST
- A-5.5 FIRST FLOOR CENTRAL
- A-5.6 SECOND FLOOR NORTHEAST
- A-5.7 SECOND FLOOR SOUTHEAST
- A-5.8 SECOND FLOOR SOUTHWEST
- A-5.9 SECOND FLOOR NORTHWEST
- A-5.10 SECOND FLOOR CENTRAL
- A-6.0 INTERIOR ELEVATIONS
- A-6.1 INTERIOR ELEVATIONS
- A-6.2 INTERIOR ELEVATIONS, SECTIONS
- A-7.0 NOT USED
- A-9.2 DETAILS

### PROJECT SCOPE

**MINOR INTERIOR IMPROVEMENTS TO LABOURE HALL TO ADAPT PREVIOUS USE AS ORPHANAGE (1 OCCUPANCY) TO TRANSITIONAL HOUSING FOR HOMELESS MOTHERS (R-2 OCCUPANCY).**

**GROUND FLOOR IMPROVEMENTS TO INCLUDE REMOVAL OF CORRIDOR AND DINING ROOM WAINSCOTS; REPLACEMENT OF CORRIDOR DOORS AND HARDWARE, REPLACEMENT OF CORRIDOR ACOUSTIC TILE CEILINGS WITH GYPSUM BOARD; NEW CARPET TILE IN CORRIDORS; NEW LUXURY VINYL TILE IN KITCHEN / DINING ROOMS. REPLACEMENT OF KITCHEN/DINING ROOM ACOUSTIC TILE CEILINGS WITH GYPSUM BOARD. INCLUDES RECONFIGURATION OF KITCHEN LAYOUT IN EXISTING SPACE, WITH NEW FIXTURES, CABINETS, AND COUNTERTOPS. PLUMBING TO INCLUDE RECONFIGURATION OF STOVE EXHAUSTS.**

**SECOND FLOOR IMPROVEMENTS TO REMOVAL OF CORRIDOR WAINSCOTS, REPLACEMENT OF CORRIDOR DOORS AND HARDWARE, REPLACEMENT OF CORRIDOR ACOUSTIC TILE CEILINGS WITH GYPSUM BOARD; NEW CARPET TILE IN CORRIDORS; CONVERSION OF DORMITORY STYLE SUITES WITH GANG BATHROOMS TO INDIVIDUAL FAMILY SUITES WITH PRIVATE BATHROOMS; REMODEL OF CENTRAL RESTROOM/SHOWERS TO ACCESSIBLE PUBLIC RESTROOMS AND JANITOR CLOSET. MECHANICAL: RECONSTRUCTION OF 2ND FLOOR CORRIDOR AS 'TUNNEL CORRIDOR' TO ISOLATE CORRIDOR FROM MECHANICAL SERVICE TO ROOMS.**

**ACCESSIBILITY NOTE:**  
BECAUSE THIS BUILDING WAS CONSTRUCTED TO 1951 CODES, WITH NUMEROUS WALLS IN CONCRETE, IT IS NOT BEING RENOVATED TO ACCOMMODATE DISABLED CLIENTS.

**FIRE AND LIFE SAFETY**  
THE EXISTING IS FULLY FIRE SPRINKLERED. PER ONGOING FIRE DEPARTMENT INSPECTIONS, THE BUILDING IS CURRENTLY COMPLIANT WITH BOTH EXITING AND SMOKE DETECTOR REQUIREMENTS.

**NOTE:** PLUMBING AND ELECTRICAL IMPROVEMENTS INDICATED HEREIN WILL BE AS DESIGN / BUILD, AND SUBMITTED BY SUBCONTRACTORS FOR PLAN CHECK REVIEW.

GOODALE  
ARCHITECTURE  
PLANNING

775 S Marengo Avenue  
Unit 2  
Pasadena, CA 91006  
626 379-8758

MARYVALE  
LABOURE HALL  
INTERIOR IMPROVEMENTS  
7600 GRAVES AVENUE  
ROSEMEAD, CA 91170  
CONSTRUCTION DOCUMENTS

Issues / Revisions	
Issue Date	Description

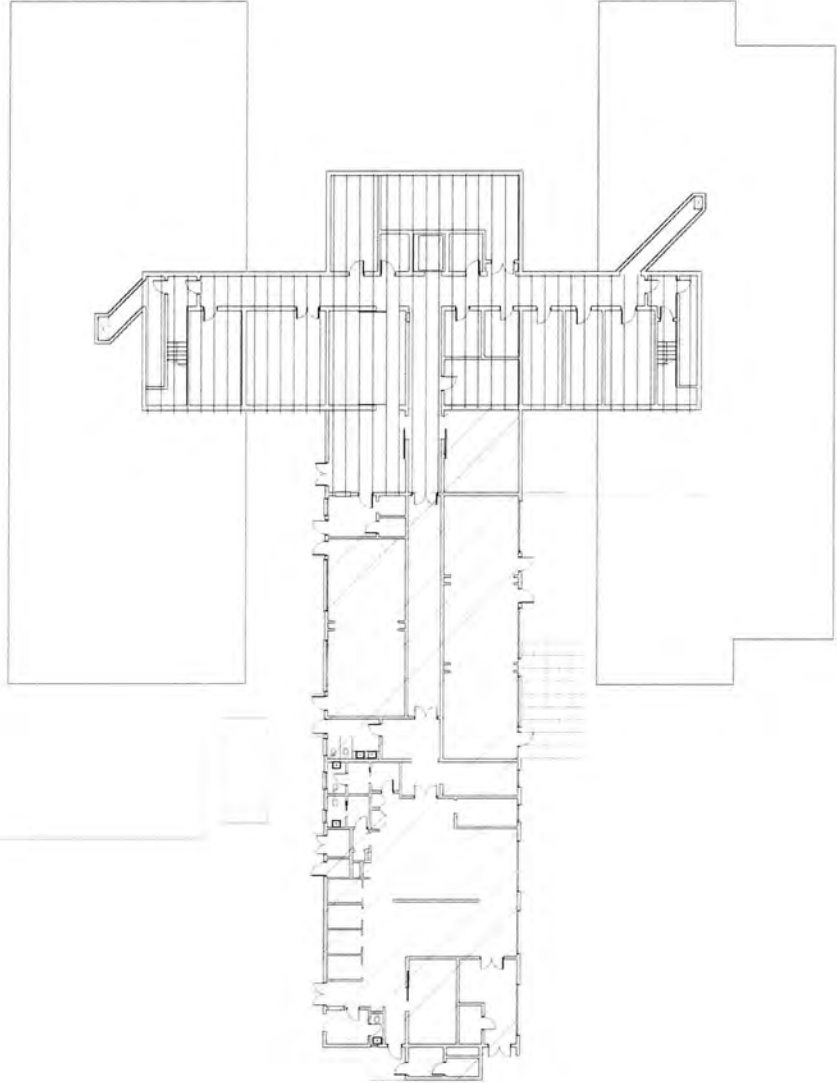
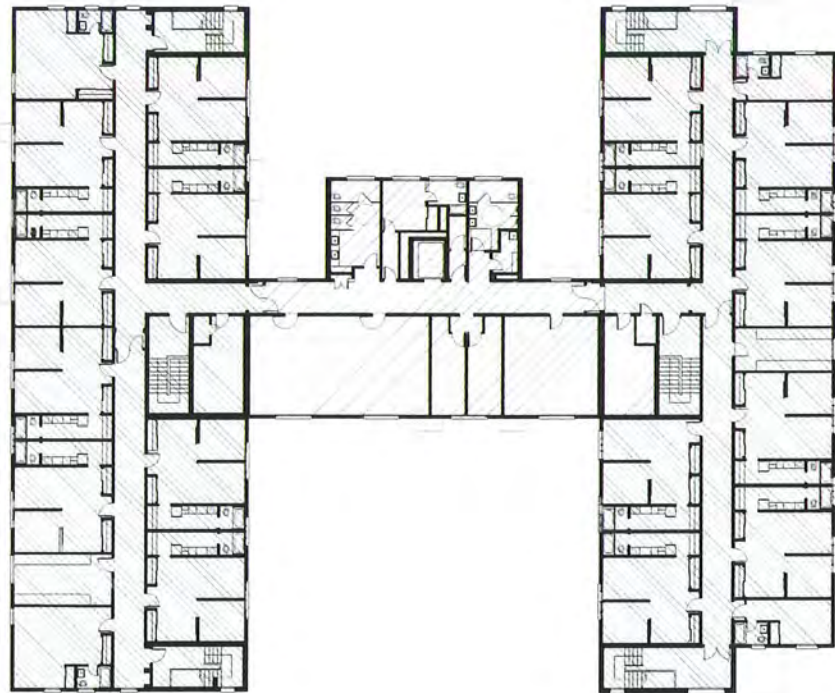
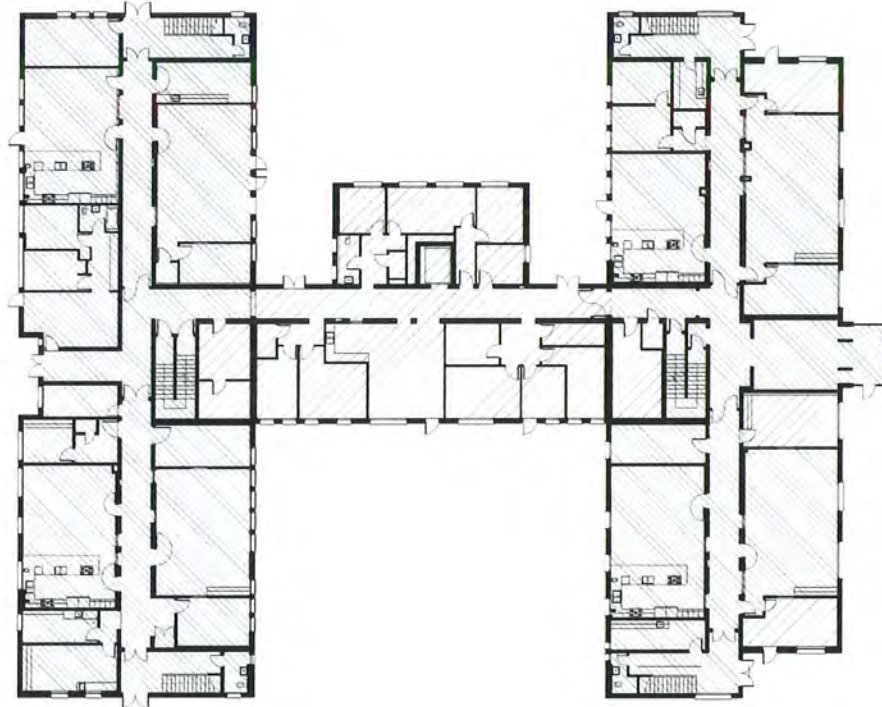
Drawing Title

TITLE / NOTES

Drawing Scale

**A-0.1**

Project Number: 2261  
Issue Date: October 12, 2022  
Plot Date



OCCUPANCY CLASSIFICATION (CBC CH. 3)

	BASEMENT	1ST FLOOR	2ND FLOOR
RESIDENTIAL (R-2) (PRIMARY USE)		15,586 SQ FT	16,159 SQ FT
OFFICES (B) (& ACCESSORY USES TO RESIDENTIAL)*		644 SQ FT	2,931 SQ FT
OFFICES (B) (NO OCCUPANCY SEP REQ FROM R-2)		4,209 SQ FT	
LIBRARY (A-3) (ACCESSORY TO RESIDENTIAL)			1,029 SQ FT
STORAGE (S-2)	6,101 SQ FT		
DINING / KITCHEN (EXISTING, NOT IN SCOPE) (A-2)			
		22,119 SF	22,119 SF

\*ROOMS ACCESSORY TO RESIDENTIAL LESS THAN 750 SQ FT

	R-2 RESIDENTIAL OCCUPANCY		S-3 STORAGE OCCUPANCY
	B-3 OFFICE OCCUPANCY		A-2 ASSEMBLY OCCUPANCY
	A-3 ASSEMBLY OCCUPANCY		

ASSUME TYPE III-B SPRINKLERED BUILDING  
2-STORY ABOVE GROUND PLANE:

FIRST FLOOR:  
MOST RESTRICTIVE VALUE = R-2 / SM (WITHOUT AREA INCREASE) = 48,000 SF  
TOTAL FLOOR AREA: 22,119 SQ FT < 48,000 SQ FT

SECOND FLOOR:  
MOST RESTRICTIVE VALUE = A-3 / SM (WITHOUT AREA INCREASE) = 28,500 SF  
TOTAL FLOOR AREA: 22,119 SQ FT < 28,500 SQ FT

OCCUPANCY SEPARATIONS:

- 1-HOUR - A-3/LIBRARY FROM B OCCUPANCY
- 1-HOUR - R-2 UNITS FROM EACH OTHER
- 1-HOUR - ALL OCCUPANCIES FROM EXIT CORRIDOR

PLANNING / PUBLIC WORKS RESPONSE:  
DEMOLISHED VS. NEW FIXTURE UNIT MATRIX

GROUND FLOOR	DEMOLISHED	NEW	BALANCE
LAVATORIES/SINKS	4	8	+4
DISHWASHERS	4	4	NO CHANGE
SECOND FLOOR	DEMOLISHED	NEW	BALANCE
LAVATORIES/SINKS	36	25	-11
WATER CLOSETS	24	24	NO CHANGE
URINALS	2	2	NO CHANGE
SHOWERS/BATHS	28	20	-8
TOTALS	DEMOLISHED	NEW	BALANCE
LAVATORIES/SINKS	40	32	-7
DISHWASHERS	4	4	NO CHANGE
WATER CLOSETS	24	24	NO CHANGE
URINALS	2	2	NO CHANGE
SHOWERS/BATHS	28	20	-8

GOODALE  
ARCHITECTURE  
PLANNING

773 S Marengo Ave  
Unit 2  
Pasadena, CA 91106  
626 379-8758

MARYVALE

LABOURE HALL  
INTERIOR IMPROVEMENTS  
7600 GRAVES AVENUE  
ROSEMEAD, CA 91170

CONSTRUCTION DOCUMENTS



Issue / Revision	Issue Date	Description

Drawing Title

CODE ANALYSIS

Drawing Scale

Project Number

2201

Issue Date

February 21, 2024

A-1.1

Plot Date

GOODALE  
ARCHITECTURE  
PLANNING

773 S Marengo Avenue  
Unit 2  
Pasadena, CA 91006  
626 379-8758

MARYVALE  
LABOURE HALL

INTERIOR IMPROVEMENTS

7600 GRAVES AVENUE  
ROSEMEAD, CA 91170

CONSTRUCTION DOCUMENTS



Issues / Revisions

Issue Date	Description

Drawing Title

LIGHT & VENTILATION  
CALCULATIONS

Drawing Scale  
1/8" = 1'-0"

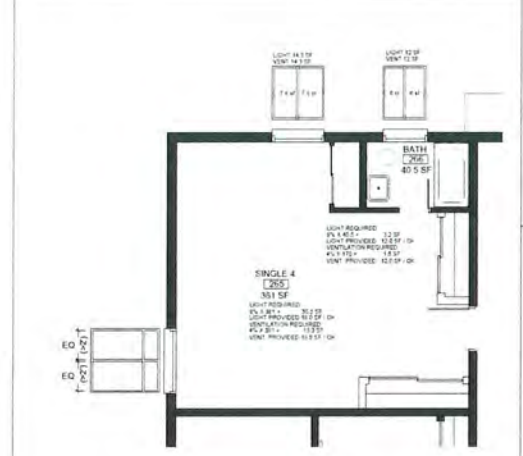
Project Number  
2201

Issue Date  
October 12, 2022

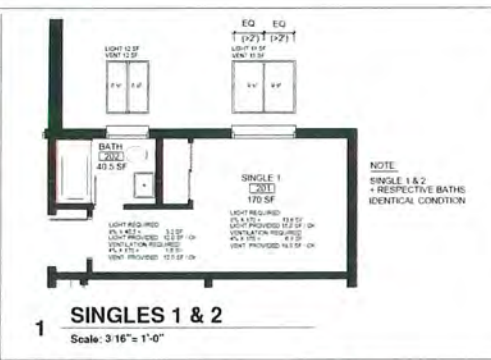
A-1.2



6 SINGLE 3  
Scale: 3/16" = 1'-0"



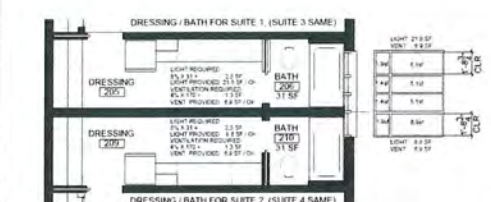
6 SINGLE 4  
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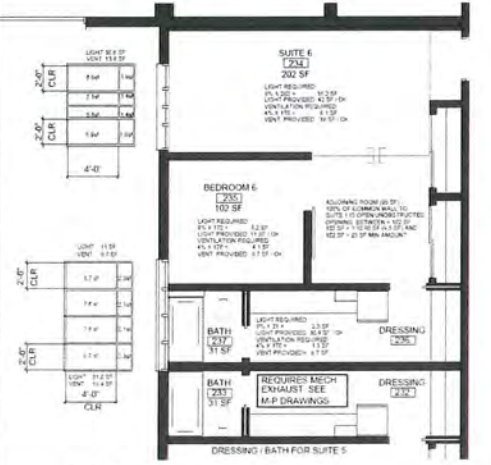
1 SINGLES 1 & 2  
Scale: 3/16" = 1'-0"



2 SUITES 1-5 AND 7-16  
Scale: 3/16" = 1'-0"



3 BATHS FOR SUITES 1-4  
Scale: 3/16" = 1'-0"



4 SUITES 6, BATHS 5 & 6  
Scale: 3/16" = 1'-0"



5 BATHS FOR SUITES 7-16  
Scale: 3/16" = 1'-0"



Issues / Revisions	
Issue Date	Description

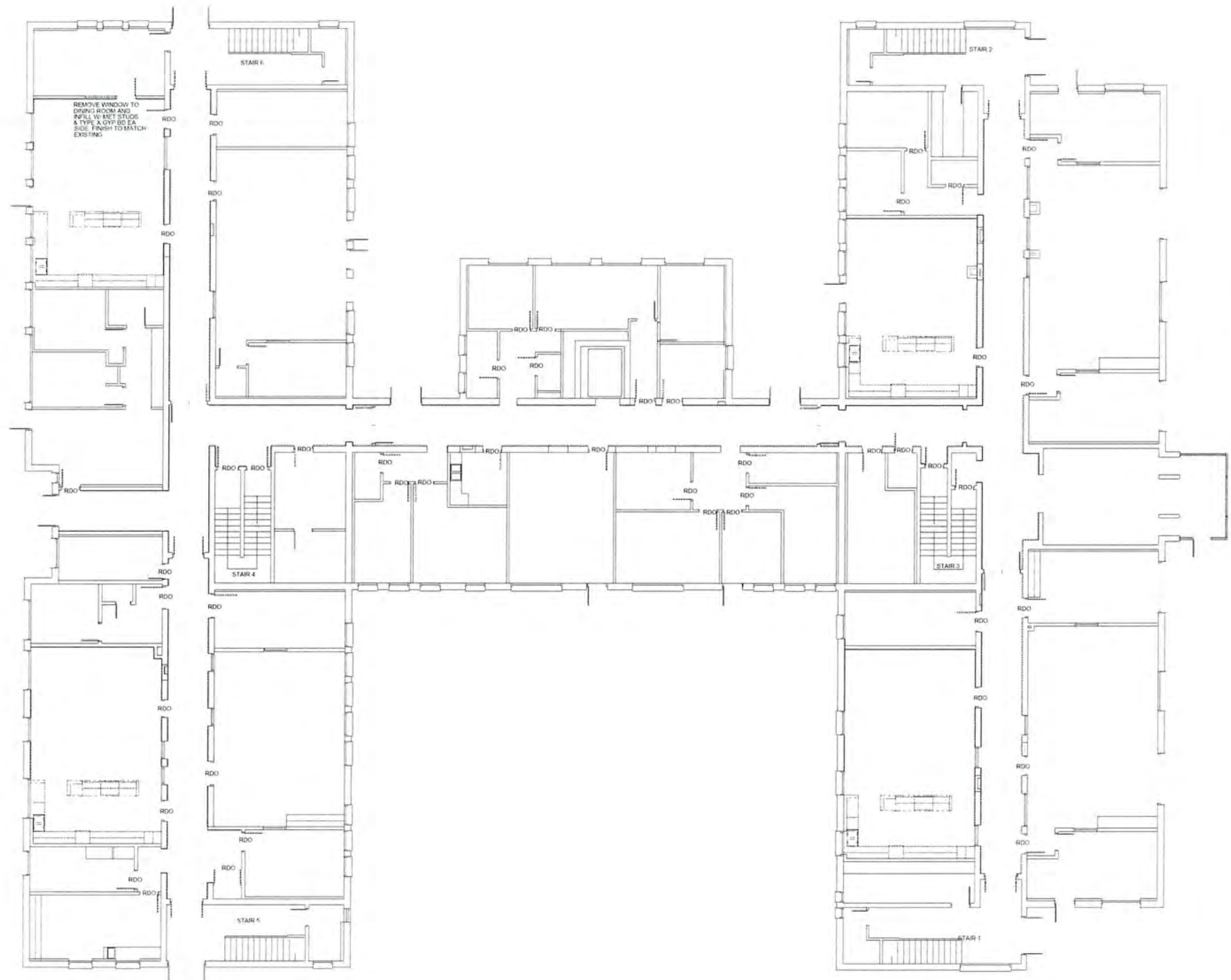
Drawing Title

FIRST FLOOR  
DEMOLITION PLAN

Drawing Scale  
1/8" = 1' - 0"

Project Number  
2201  
Issue Date  
October 12, 2022

A-3.1



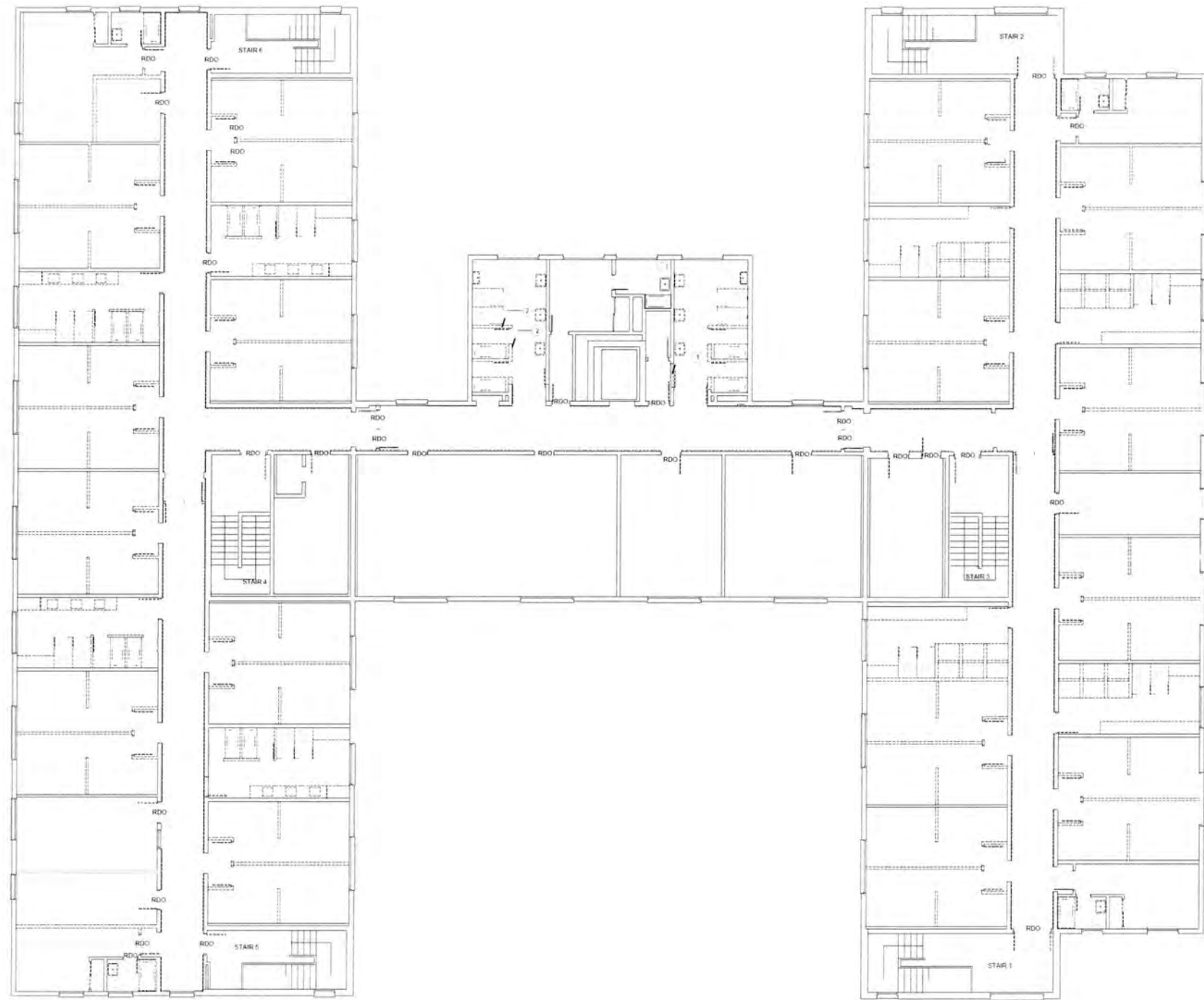
SYMBOL LEGEND

- RDO REMOVE DOOR ONLY, RETAIN FRAME
- REMOVE DOOR AND FRAME
- REMOVE DOOR, FRAME, STUB WALL AND WALL ABOVE. PATCH AND REPAIR JOINT TO CORRIDOR WALL TO MATCH EXISTING WALL FINISH
- DEMOLISH WALL
- REMOVE PLUMBING FIXTURES, APPLIANCES, COUNTERTOPS, CASEWORK AND CASEWORK
- REMOVE ALL CORRIDOR, DINING, KITCHEN WAINSCOT AND RUBBER BASE (CONTINUOUS). PATCH/REPAIR SURFACE TO MATCH FINISH ABOVE

1 FIRST FLOOR DEMOLITION PLAN  
Scale: 1/8" = 1'-0"



Issues / Revisions	
Issue Date	Description



**SYMBOL LEGEND**

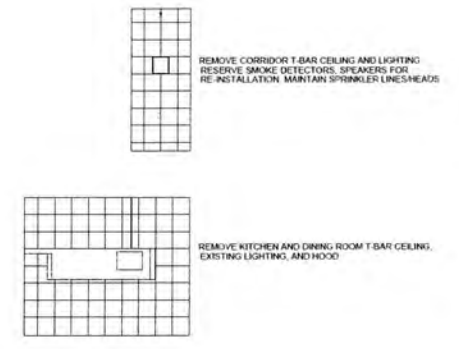
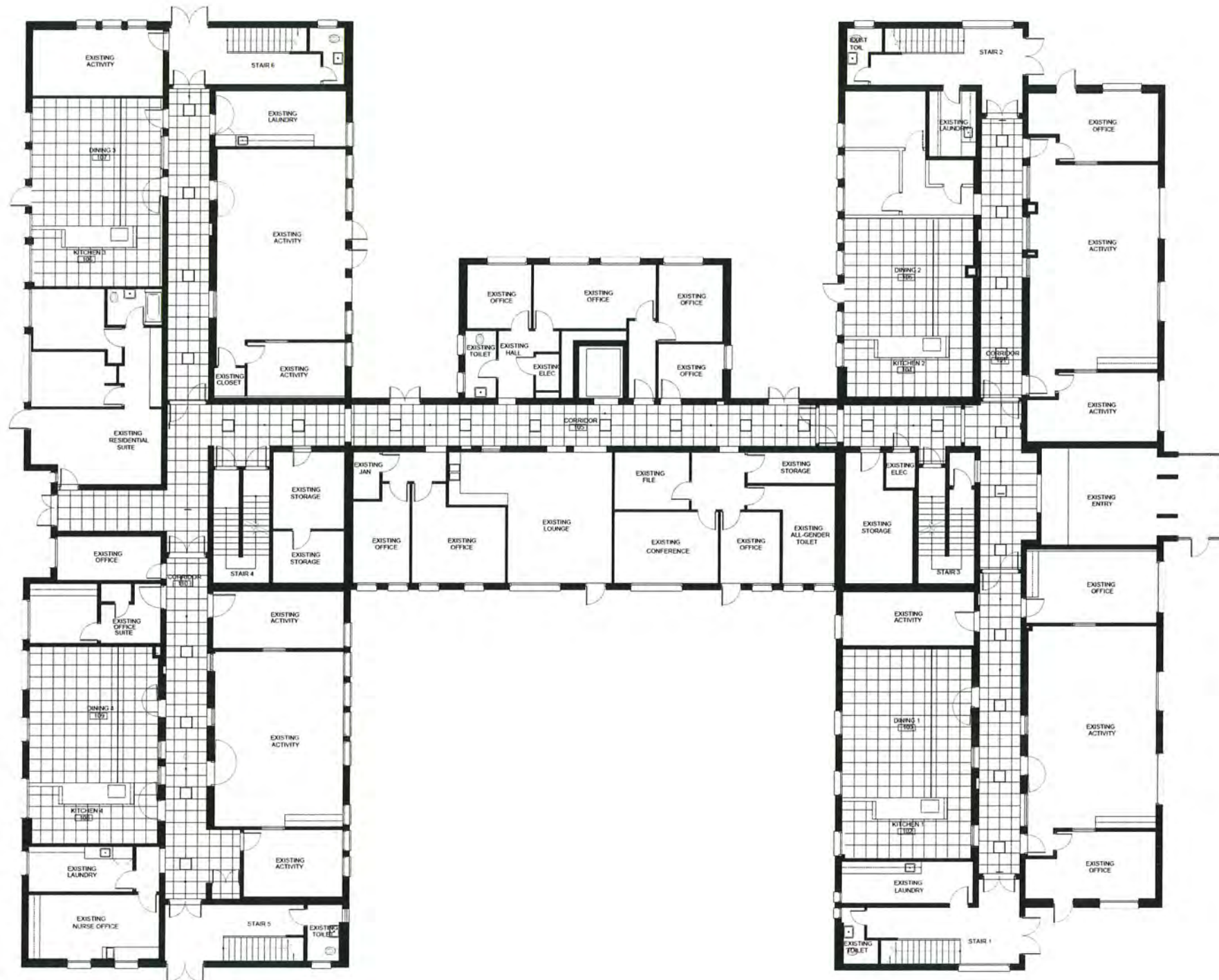
- REMOVE DOOR ONLY, RETAIN FRAME
- REMOVE DOOR AND FRAME
- REMOVE DOOR, FRAME, STUB WALL, AND WALL ABOVE. PATCH AND REPAIR JOINT TO CORRIDOR WALL TO MATCH EXISTING WALL FINISH
- DEMOLISH WALL
- REMOVE PLUMBING FIXTURES, DIVIDING PARTITIONS, AND CASEWORK
- REMOVE ALL CORRIDOR WAINSCOT (CONTINUOUS). PATCH/REPAIR SURFACE TO MATCH FINISH ABOVE

**KEYNOTES**

- 1 IF EXISTING WALL FINISH AT HATCHED AREA DOES NOT PROVIDE 1-HR RATING, REMOVE AND REPLACE WITH TYPE X GYP BD EACH SIDE OF EXISTING STUDS
- 2 DEMOLISH CONCRETE CURBS WITH WALL DEMOLITION, DOWN TO CONCRETE SLAB, TYP

**1 SECOND FLOOR DEMOLITION PLAN**  
Scale: 1/8" = 1'-0"

	Drawing Title
<b>SECOND FLOOR DEMOLITION PLAN</b>	
	Drawing Scale
1/8" = 1'-0"	
	Project Number
2201	
	Issue Date
08/08/2022	
<b>A-3.2</b>	



Issues / Revisions	
Issue Date	Description

Drawing Title  
**FIRST FLOOR  
DEMOLITION  
REFLECTED CEILING  
PLAN**  
Drawing Scale  
1/8" = 1'-0"

Project Number  
2201  
Issue Date  
October 12, 2022

**A-3.3**

**1 FIRST FLOOR DEMOLITION REFLECTED CEILING PLAN**  
Scale: 1/8" = 1'-0"



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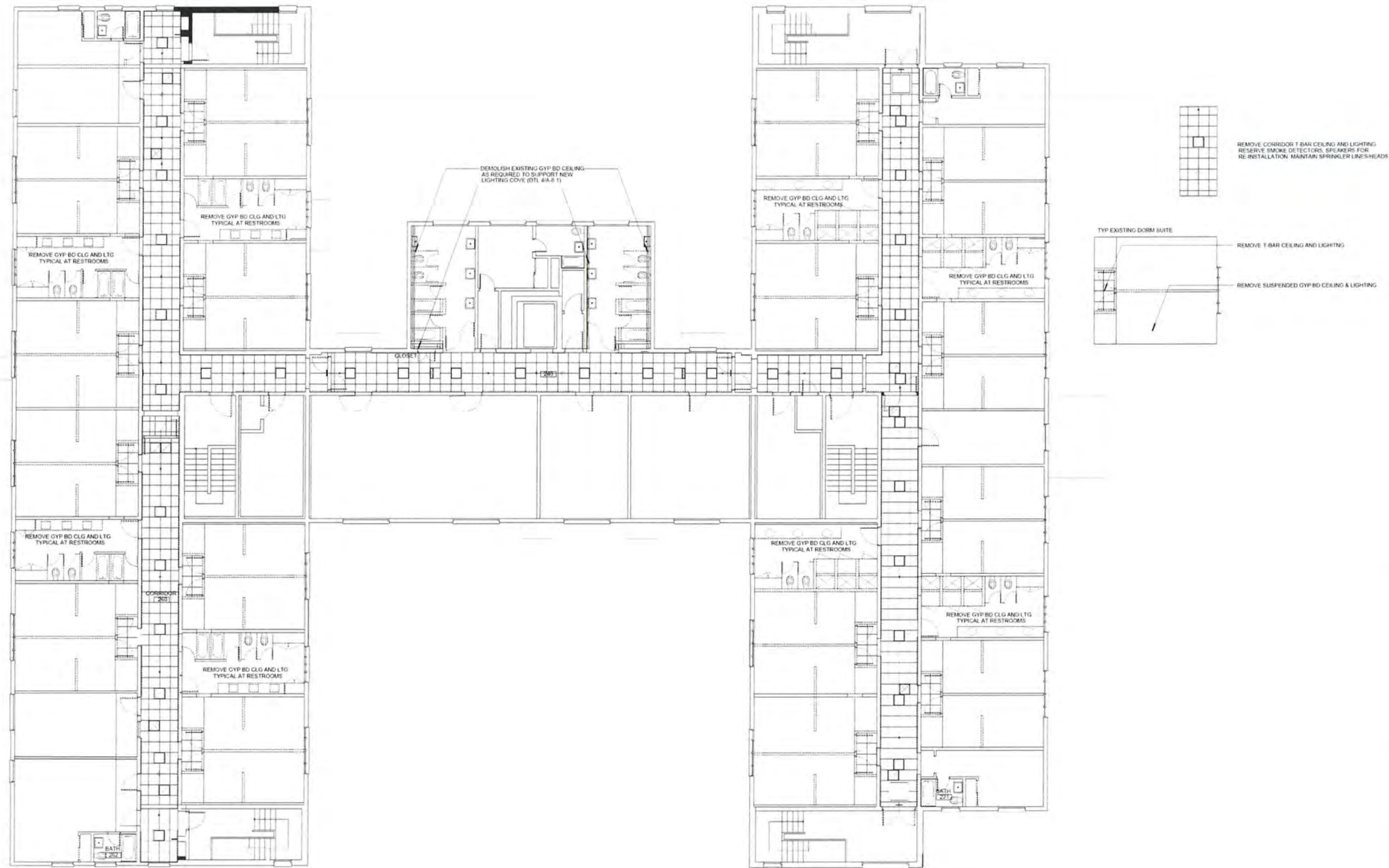
INTERIOR IMPROVEMENTS

7600 GRAVES AVENUE  
ROSEMEAD, CA 91170

CONSTRUCTION DOCUMENTS



Issues / Revisions	
Issue Date	Description



1 SECOND FLOOR DEMOLITION REFLECTED CEILING PLAN  
Scale: 1/8" = 1'-0"

Drawing Title  
**SECOND FLOOR  
DEMOLITION  
REFLECTED CEILING**

Drawing Scale  
1/8" = 1'-0"

Project Number  
2201

Issue Date  
February 21, 2024

**A-3.4**

Plot Date

GOODALE  
ARCHITECTURE  
PLANNING

773 S Marengo Avenue  
Unit 2  
Pasadena, CA 91006  
626 379-8758

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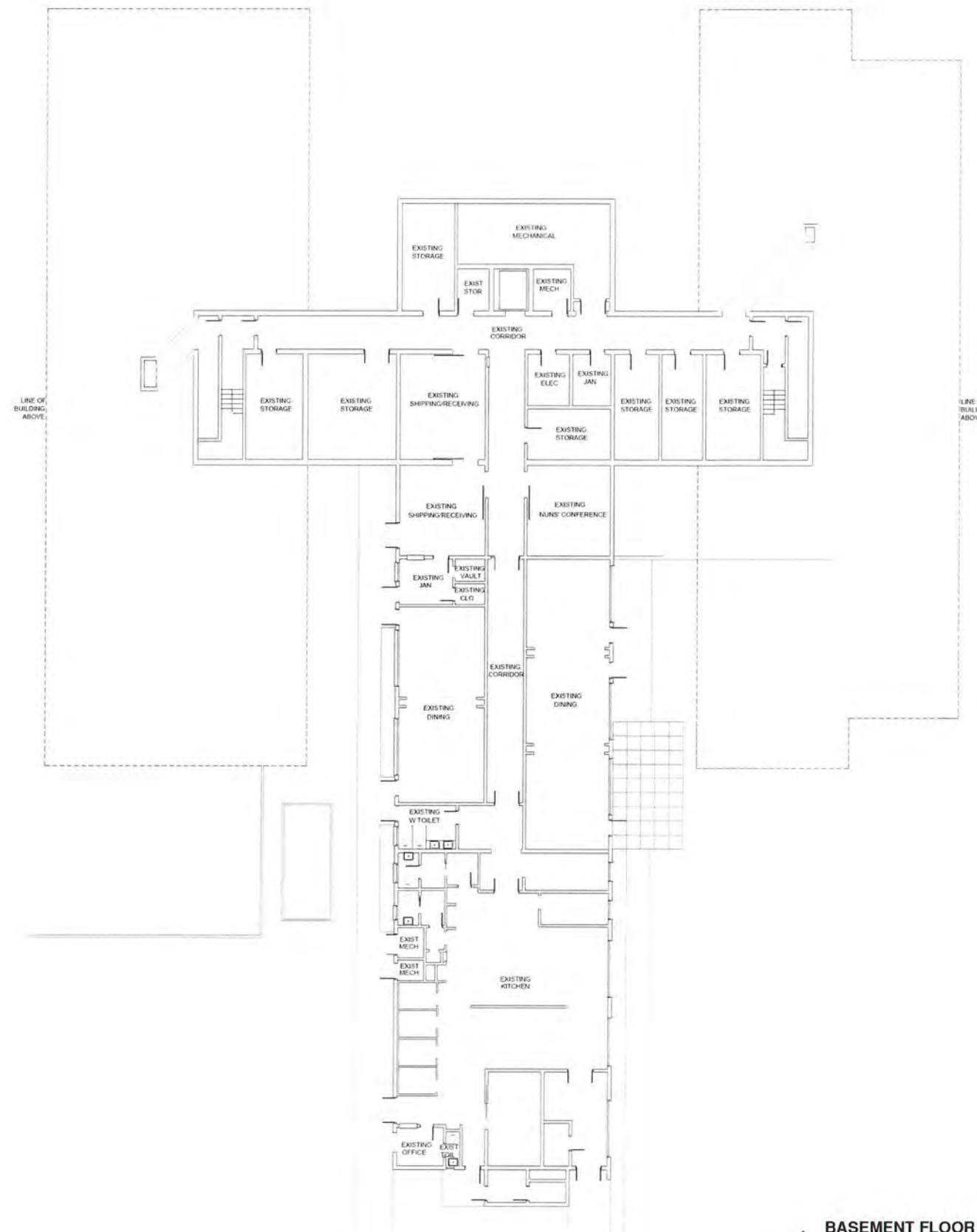
INTERIOR IMPROVEMENTS

7600 GRAVES AVENUE  
ROSEMEAD, CA 91170

CONSTRUCTION DOCUMENTS



Issues / Revisions	
Issue Date	Description



**1 BASEMENT FLOOR PLAN**  
Scale: 3/32" = 1'-0"

Drawing Title  
**OVERALL  
BASEMENT  
FLOOR PLAN  
(REFERENCE ONLY)**  
Drawing Scale  
3/32" = 1'-0"

Project Number  
2201  
Issue Date  
October 12, 2022  
**A-4.0**

GOODALE  
ARCHITECTURE  
PLANNING

773 S Marengo Ave  
Unit 2  
Pasadena, CA 91106  
626 379-8758

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ROSEMEAD, CA 91170

CONSTRUCTION DOCUMENTS



Issues / Revisions	
Issue Date	Description

Drawing Title  
**OVERALL  
FIRST FLOOR PLAN**

Drawing Scale:  
1/8" = 1' - 0"

Project Number  
2201  
Issue Date  
October 12, 2022

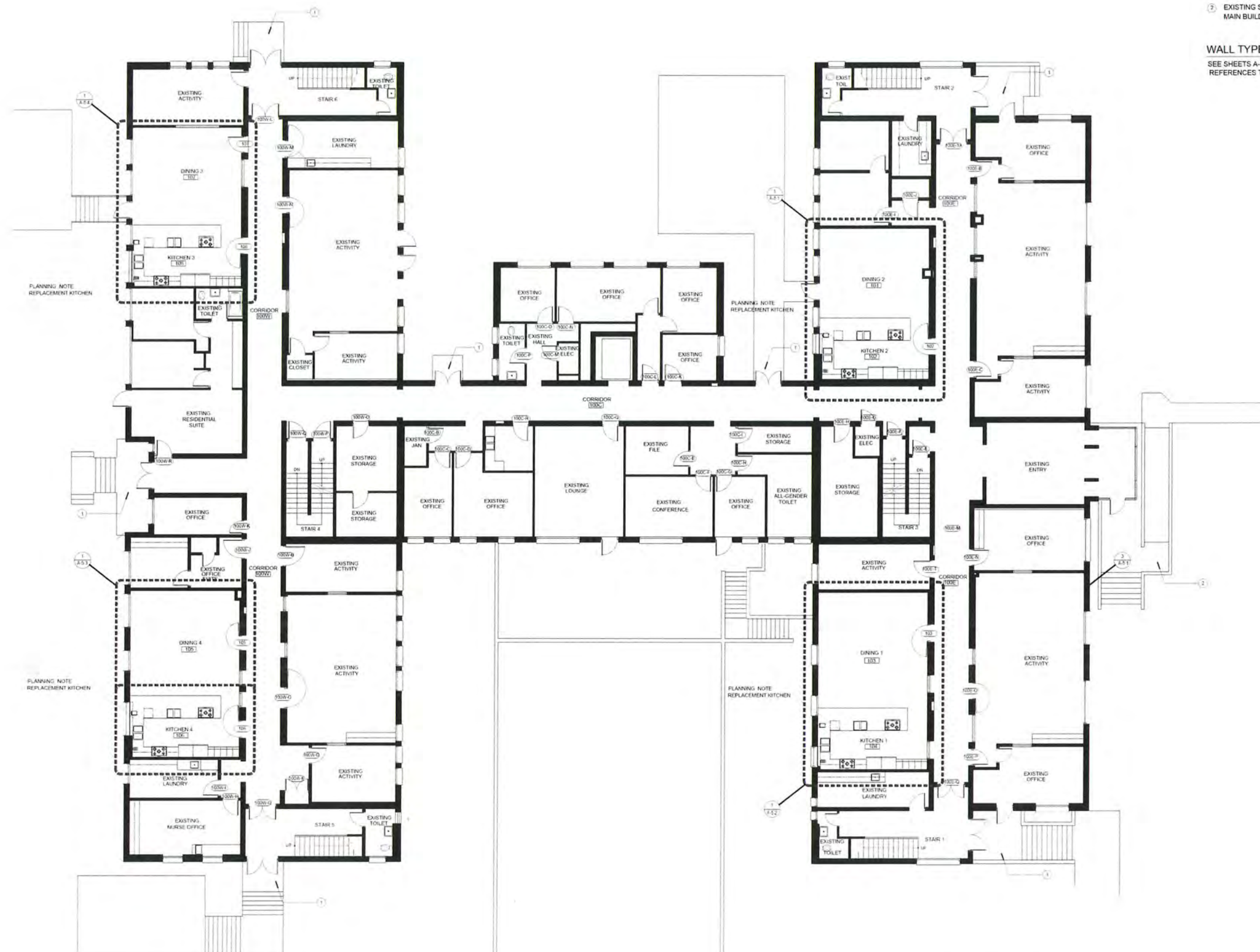
**A-4.1**

KEYNOTE LEGEND

- 1 EXISTING EXIT LANDING/ EXITWAY
- 2 EXISTING STAIR, RAMP AND MAIN BUILDING ENTRY

WALL TYPES NOTE

SEE SHEETS A-5.1-A5.5 FOR REFERENCES TO WALL TYPES



**1 FIRST FLOOR PLAN**  
Scale: 1/8" = 1'-0"

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INTERIOR IMPROVEMENTS  
7600 GRAVES AVENUE  
ROSEMEAD, CA 91170

CONSTRUCTION DOCUMENTS



Issues / Revisions	
Issue Date	Description

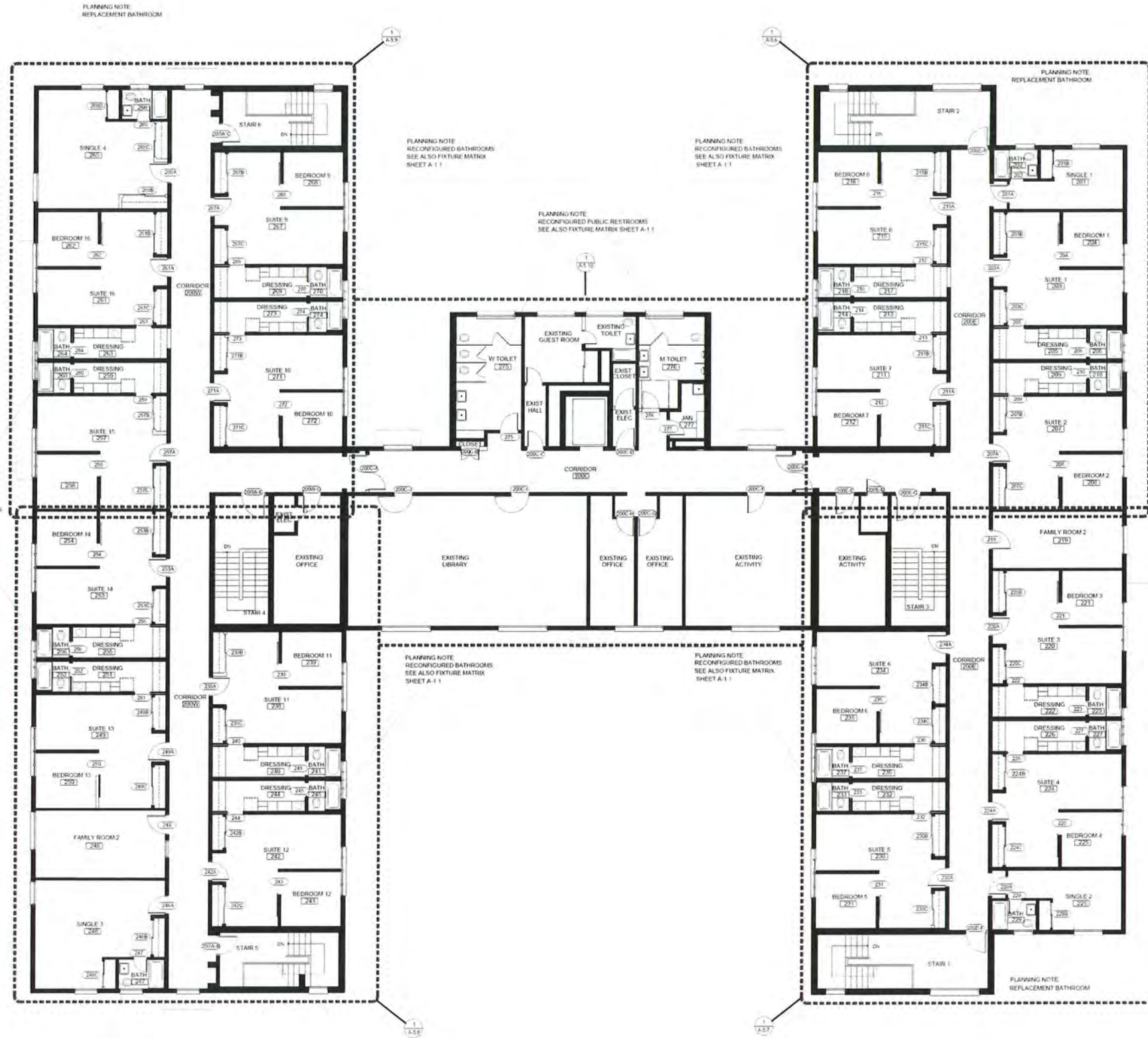
Drawing Title  
**OVERALL  
SECOND FLOOR PLAN**

Drawing Scale  
1/8" = 1' - 0"

Project Number  
2201  
Issue Date  
February 21, 2024

**A-4.2**

Plot Date



WALL TYPES NOTE  
SEE SHEETS A-5.1 - A-5.5 FOR  
REFERENCES TO WALL TYPES

PLANNING NOTE  
RECONFIGURED BATHROOMS  
SEE ALSO FIXTURE MATRIX  
SHEET A-1.1

PLANNING NOTE  
RECONFIGURED PUBLIC RESTROOMS  
SEE ALSO FIXTURE MATRIX SHEET A-1.1

PLANNING NOTE  
RECONFIGURED BATHROOMS  
SEE ALSO FIXTURE MATRIX  
SHEET A-1.1

PLANNING NOTE  
RECONFIGURED BATHROOMS  
SEE ALSO FIXTURE MATRIX  
SHEET A-1.1

PLANNING NOTE  
RECONFIGURED BATHROOMS  
SEE ALSO FIXTURE MATRIX  
SHEET A-1.1

PLANNING NOTE  
RECONFIGURED BATHROOMS  
SEE ALSO FIXTURE MATRIX  
SHEET A-1.1

**1 SECOND FLOOR PLAN**  
Scale: 1/8" = 1'-0"

GOODALE  
ARCHITECTURE  
PLANNING

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Unit 2  
Pasadena, CA 91006  
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INTERIOR IMPROVEMENTS

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ROSEMEAD, CA 91170

CONSTRUCTION DOCUMENTS



Issues / Revisions	
Issue Date	Description

Drawing Title

FIRST FLOOR PLAN  
NORTHEAST

Drawing Scale  
1/4" = 1' - 0"

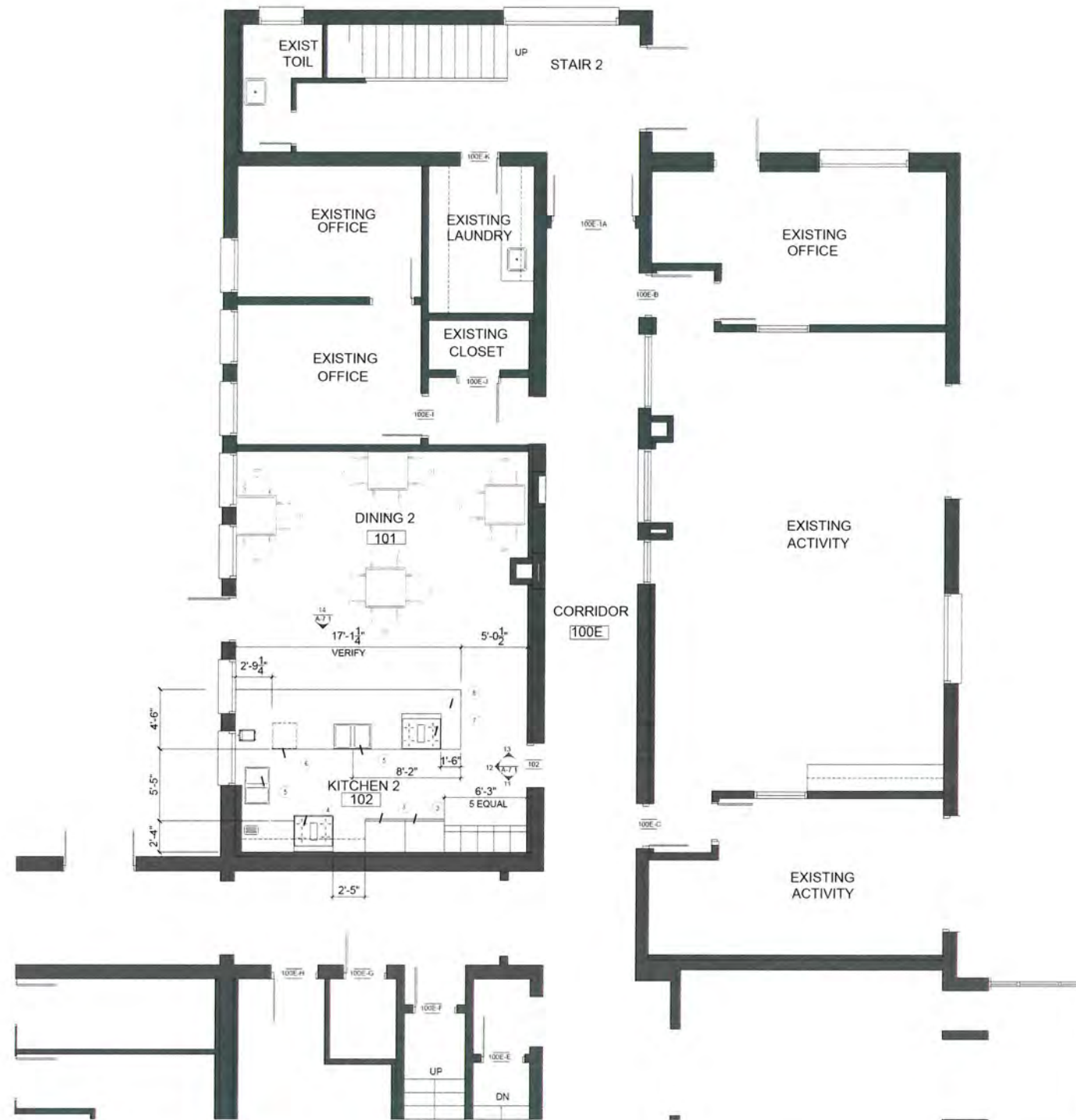
Project Number  
2201  
Issue Date  
October 12, 2022

A-5.1

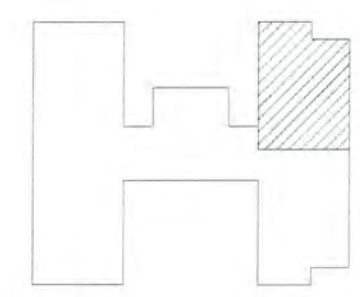
KEYNOTE LEGEND

- EXISTING EXIT LANDING/ EXITWAY
- EXISTING STAIR, RAMP AND MAIN BUILDING ENTRY
- REFRIGERATOR (LG. LRSX2706V1)
- STOVE / RANGE (LG. LRGL5825F) MICROWAVE ABOVE (LG. LMV2031ST)
- STAINLESS STEEL SINK, FAUCETS, ACCESSORIES, DISPOSAL TO MATCH SETON HALL KITCHENS
- DISHWASHER (LG. LDFM454HT)
- PORCELAIN COUNTERTOP (STONE SOURCE: LAMINAM +12 "TINTA UNITA BIANCO ASSOLUTO")
- STOVE / RANGE (LG. LSG6335F)

\*NOTE  
KITCHEN APPLIANCES TO MATCH THOSE IN SETON HALL KITCHENS. CONFIRM MODEL NUMBERS.



1 FIRST FLOOR PLAN - NORTHEAST  
Scale: 1/4" = 1'-0"





**1 FIRST FLOOR PLAN - SOUTHEAST**  
Scale: 1/4" = 1'-0"

**KEYNOTE LEGEND**

- 1 EXISTING EXIT LANDING/ EXITWAY
- 2 EXISTING STAIR, RAMP AND MAIN BUILDING ENTRY
- 3 REFRIGERATOR (L.G. LRSX2706V)
- 4 STOVE / RANGE (L.G. LRGL5825F) MICROWAVE ABOVE (L.G. LMV2031ST)
- 5 STAINLESS STEEL SINK, FAUCETS, ACCESSORIES, DISPOSAL TO MATCH SETON HALL KITCHENS
- 6 DISHWASHER (L.G. LDFN454HT)
- 7 PORCELAIN COUNTERTOP (STONE SOURCE: LAMINAM +12 "TINTA UNITA BIANCO ASSOLUTO")
- 8 STOVE / RANGE (L.G. LSLG6335F)

\*NOTE  
KITCHEN APPLIANCES TO MATCH THOSE IN SETON HALL KITCHENS. CONFIRM MODEL NUMBERS.

**GOODALE  
ARCHITECTURE  
PLANNING**

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7600 GRAVES AVENUE  
ROSEMEAD, CA 91170  
**CONSTRUCTION DOCUMENTS**



Issues / Revisions	
Issue Date	Description

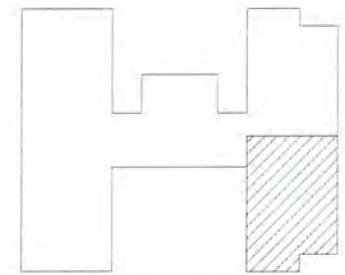
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Drawing Title

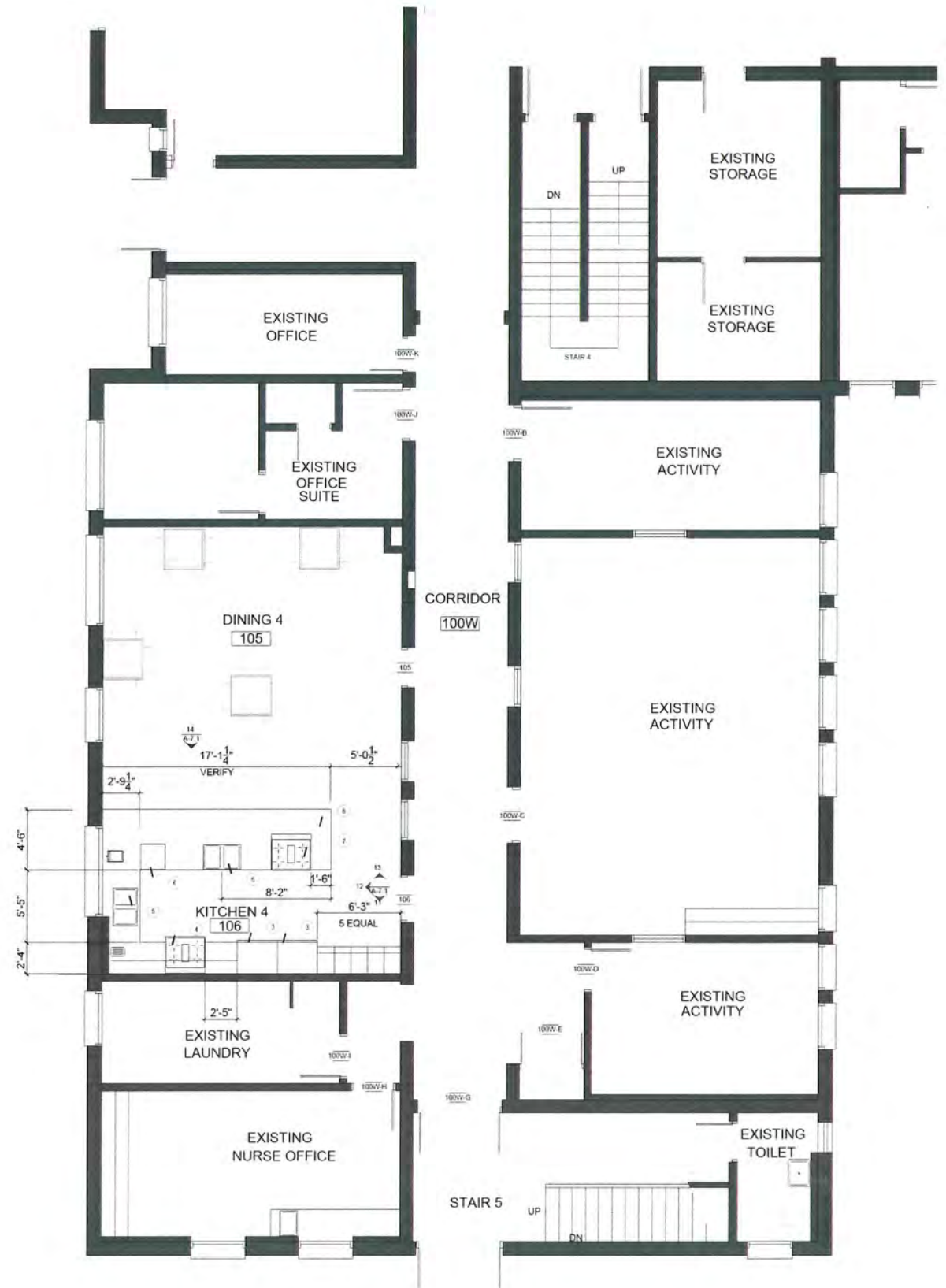
**FIRST FLOOR PLAN  
SOUTHEAST**

\_\_\_\_\_  
Drawing Scale  
1/4" = 1'-0"

\_\_\_\_\_  
Project Number  
2201  
Issue Date  
October 12, 2022

**A-5.2**



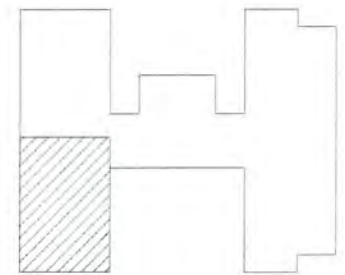


**1 FIRST FLOOR PLAN - SOUTHWEST**  
Scale: 1/4" = 1'-0"

**KEYNOTE LEGEND**

- 1 EXISTING EXIT LANDING/ EXITWAY
- 2 EXISTING STAIR, RAMP AND MAIN BUILDING ENTRY
- 3 REFRIGERATOR (LG. LRSX2706V)\*
- 4 STOVE / RANGE (LG. LRGL5825F)\*  
MICROWAVE ABOVE (LG. LMV2031ST)\*
- 5 STAINLESS STEEL SINK, FAUCETS, ACCESSORIES, DISPOSAL TO MATCH SETON HALL KITCHENS
- 6 DISHWASHER (LG. LDFN454HT)\*
- 7 PORCELAIN COUNTERTOP (STONE SOURCE LAMINAM +12 "TINTA UNITA BIANCO ASSOLUTO")
- 8 STOVE / RANGE (LG. LSGL6335F)

\*NOTE  
KITCHEN APPLIANCES TO MATCH THOSE IN SETON HALL KITCHENS. CONFIRM MODEL NUMBERS.



**GOODALE  
ARCHITECTURE  
PLANNING**

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INTERIOR IMPROVEMENTS  
7600 GRAVES AVENUE  
ROSEMEAD, CA 91170

CONSTRUCTION DOCUMENTS



Issues / Revisions	
Issue Date	Description

Drawing Title

**FIRST FLOOR PLAN  
SOUTHWEST**

Drawing Scale  
1/4" = 1'-0"

Project Number  
2201  
Issue Date  
October 12, 2022

**A-5.3**

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INTERIOR IMPROVEMENTS

7600 GRAVES AVENUE  
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CONSTRUCTION DOCUMENTS



Issues / Revisions	
Issue Date	Description

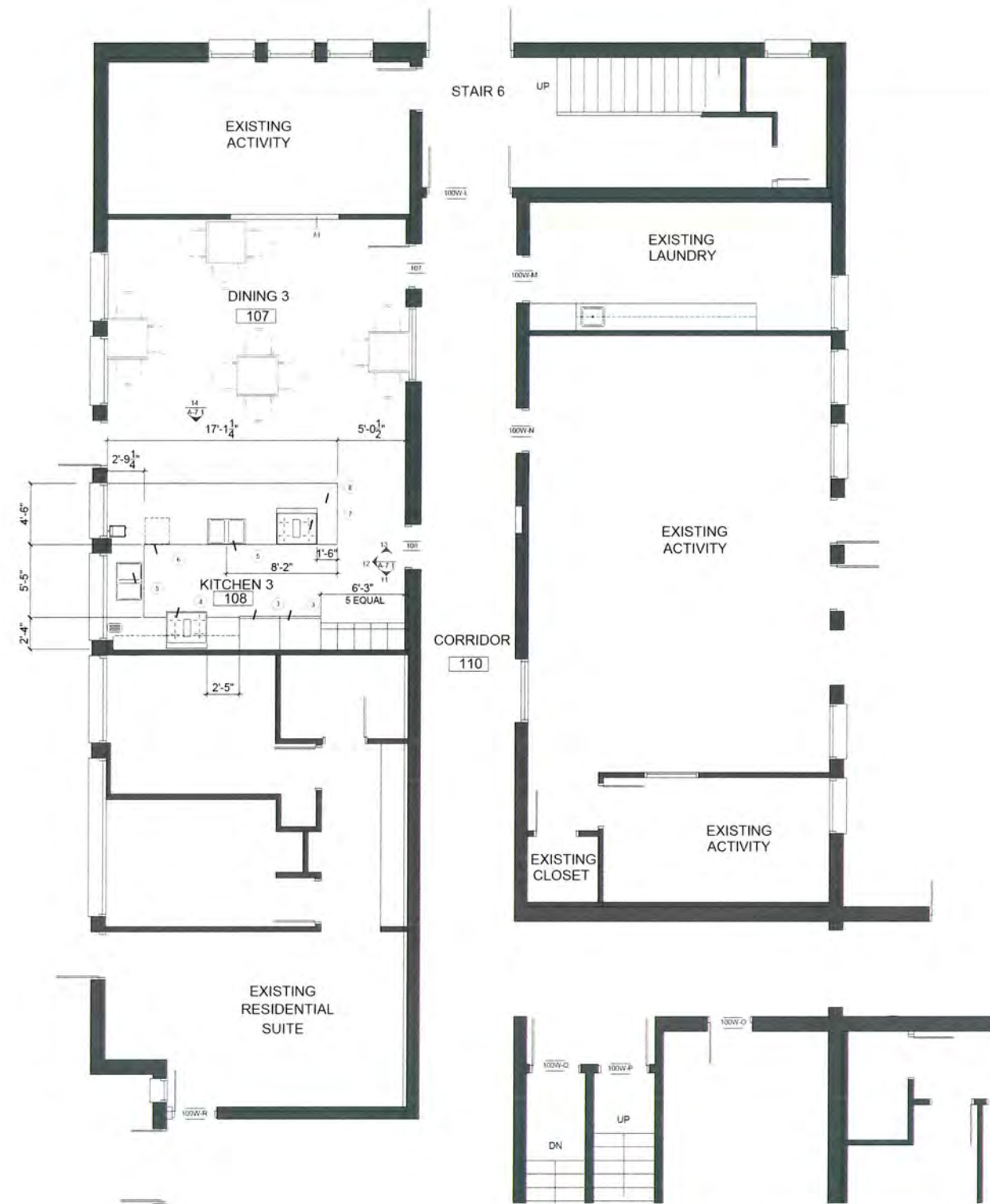
KEYNOTE LEGEND

- 1 EXISTING EXIT LANDING/ EXITWAY
- 2 EXISTING STAIR, RAMP AND MAIN BUILDING ENTRY
- 3 REFRIGERATOR (LG. LRSX2706V)
- 4 STOVE / RANGE (LG. LRGL5825F) MICROWAVE ABOVE (LG. LMV2031ST)
- 5 STAINLESS STEEL SINK, FAUCETS, ACCESSORIES, DISPOSAL TO MATCH SETON HALL KITCHENS.
- 6 DISHWASHER (LG. LDFN454HT)
- 7 PORCELAIN COUNTERTOP (STONE SOURCE LAMINAM +12 "TINTA UNITA BIANCO ASSOLUTO")
- 8 STOVE / RANGE (LG. LSG6335F)

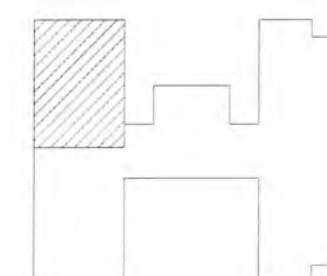
\*NOTE  
KITCHEN APPLIANCES TO MATCH THOSE IN SETON HALL KITCHENS. CONFIRM MODEL NUMBERS.

WALL TYPES

- EXISTING WALL
- 1-HR WD STUD WALL SEE SHEET A-9.1



1 FIRST FLOOR PLAN - NORTHWEST  
Scale: 1/4" = 1'-0"



Drawing Title

FIRST FLOOR PLAN  
NORTHWEST

Drawing Scale:  
1/4" = 1'-0"

Project Number  
2201  
Issue Date  
October 12, 2022

A-5.4



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CONSTRUCTION DOCUMENTS



Issues / Revisions	
Issue Date	Description

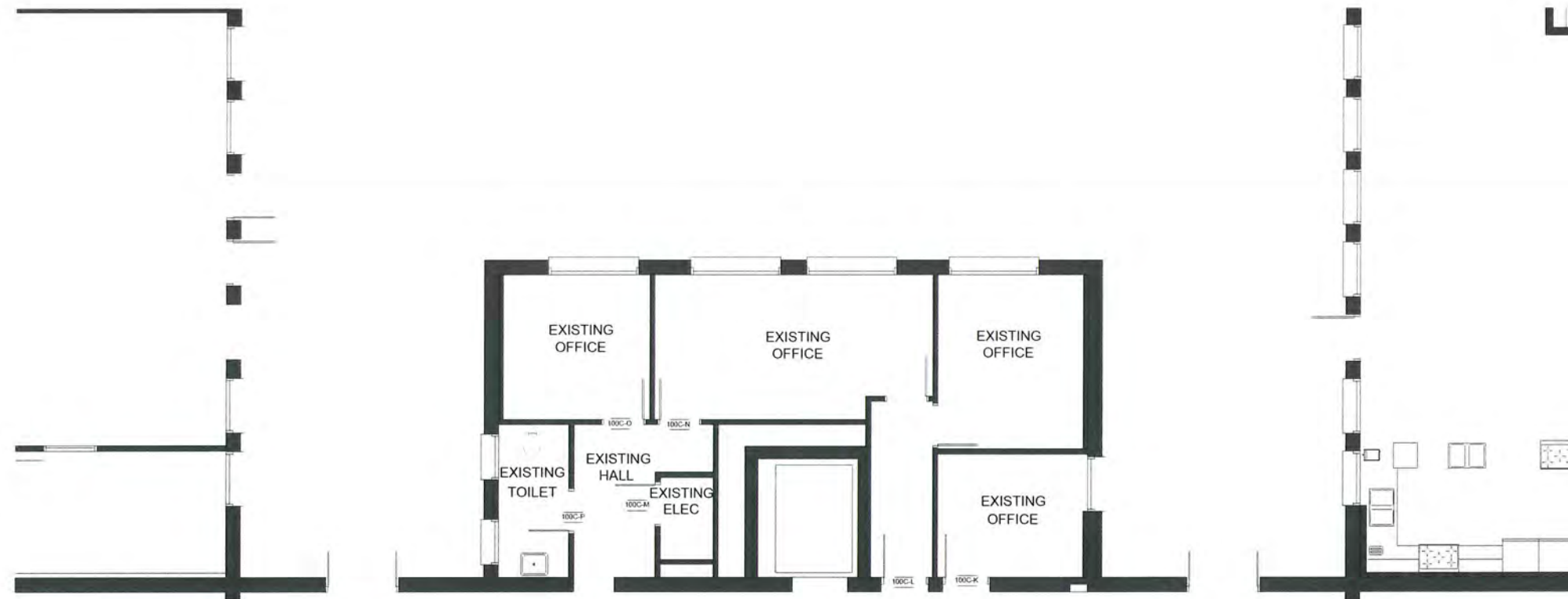
Drawing Title

FIRST FLOOR PLAN  
CENTRAL

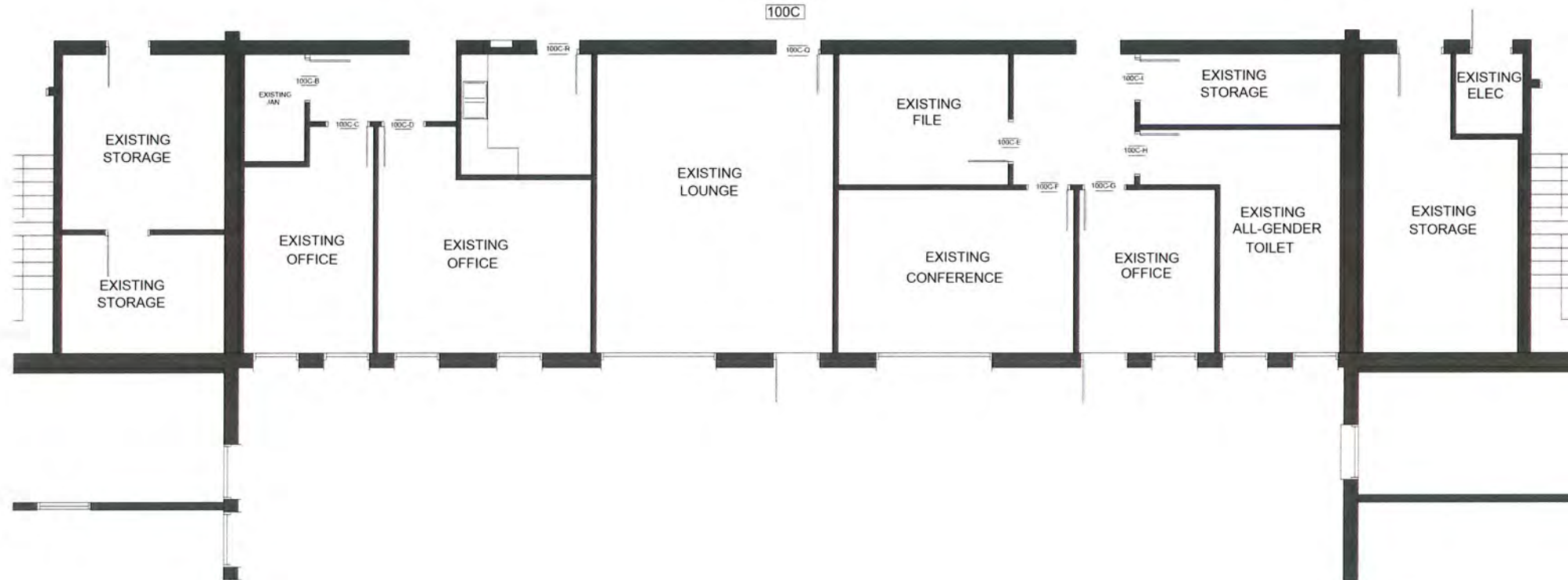
Drawing Scale  
1/4" = 1'-0"

Project Number  
2201  
Issue Date  
October 12, 2022

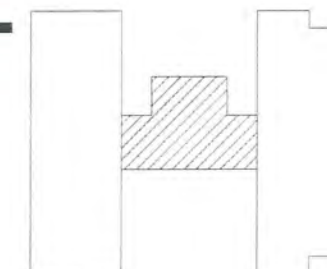
A-5.5



CORRIDOR  
100C



1 FIRST FLOOR PLAN - CENTRAL  
Scale: 1/4" = 1'-0"



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INTERIOR IMPROVEMENTS

7600 GRAVES AVENUE  
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CONSTRUCTION DOCUMENTS



Issues / Revisions

Issue Date	Description

KEYNOTE LEGEND

- 1 UPPER PLASTIC LAMINATE CABINETS
- 2 LOWER PLASTIC LAMINATE CABINETS
- 3 BUILT-IN FLOOR TO CEILING SHELVING

WALL TYPES

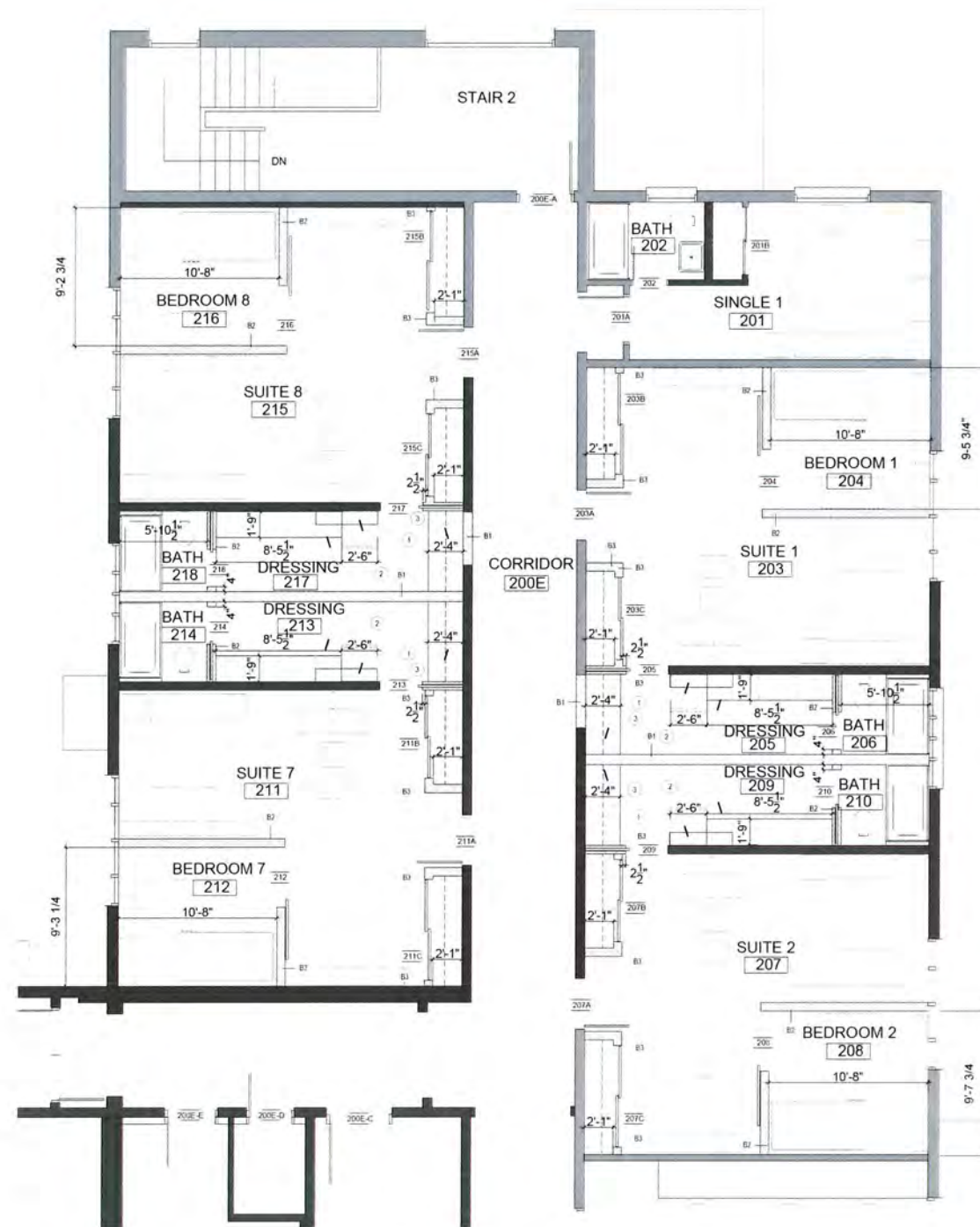
- EXISTING WALL
- 1-HR MET STUD WALL  
SEE SHEET A-9.1
- NON-RATED MET STUD WALL  
SEE SHEET A-9.1

NOTE

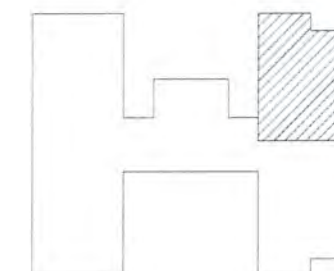
DIMENSIONS ARE FROM FACE OF FINISH / EXISTING WALLS  
TO FACE OF STUD / NEW WALLS

INTERIOR ELEVATIONS NOTE

SEE SHEET A-7.0 TYPICAL SUITE FLOOR PLAN  
FOR REFERENCING TYPICAL SUITE INTERIOR ELEVATIONS



1 SECOND FLOOR PLAN - NORTHEAST  
Scale: 1/4" = 1'-0"



SECOND FLOOR PLAN  
NORTHEAST

Drawing Scale  
1/4" = 1'-0"

Project Number:  
2201  
Issue Date:  
October 12, 2022

A-5.6

**GOODALE**  
ARCHITECTURE  
PLANNING

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**INTERIOR IMPROVEMENTS**

7600 GRAVES AVENUE  
ROSEMEAD, CA 91170

**CONSTRUCTION DOCUMENTS**



Issues / Revisions

Issue Date	Description

**KEYNOTE LEGEND**

- 1 UPPER PLASTIC LAMINATE CABINETS
- 2 LOWER PLASTIC LAMINATE CABINETS
- 3 BUILT-IN FLOOR TO CEILING SHELVING

**WALL TYPES**

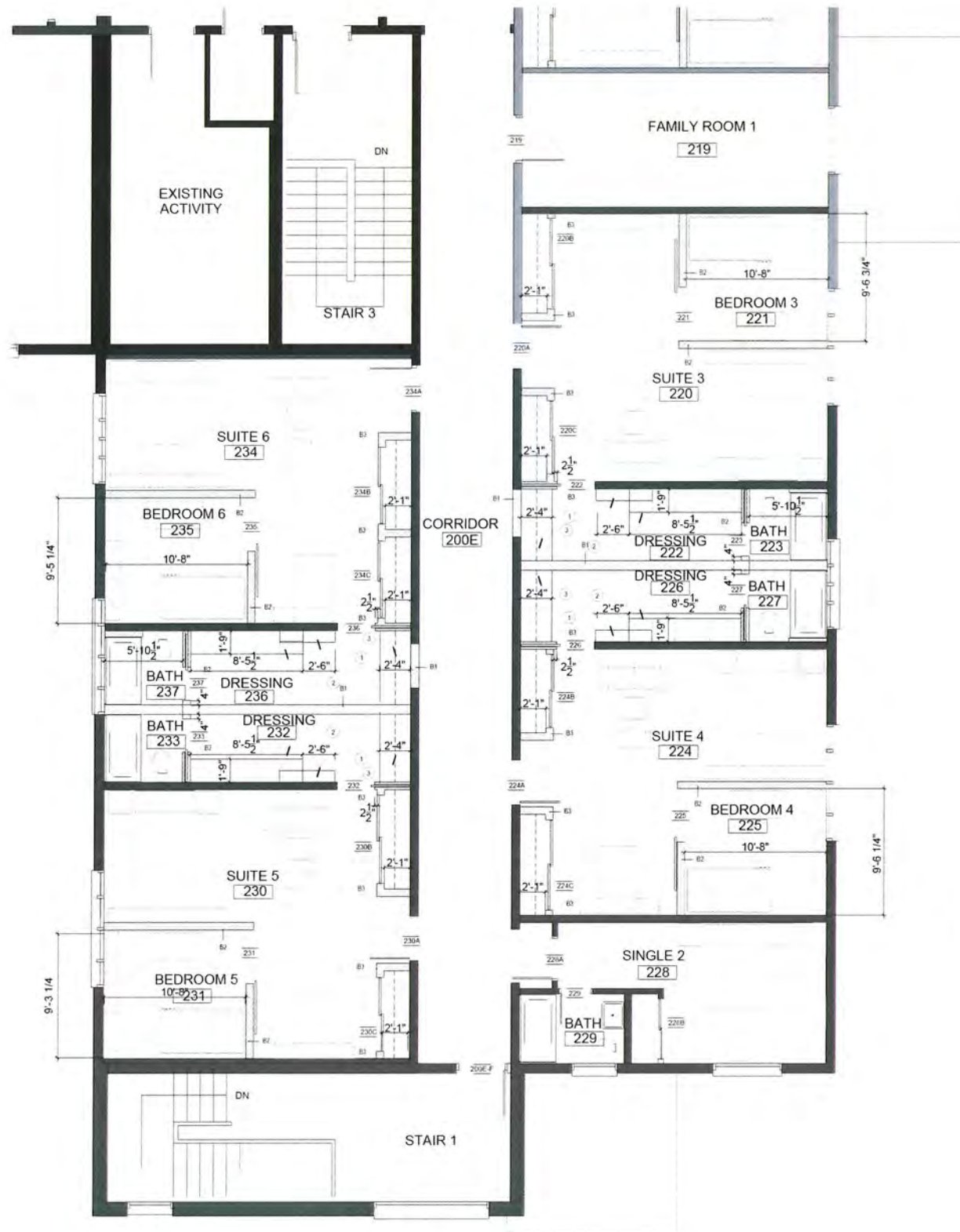
- EXISTING WALL
- 1-HR MET STUD WALL  
SEE SHEET A-9.1
- NON-RATED MET STUD WALL  
SEE SHEET A-9.1

**NOTE**

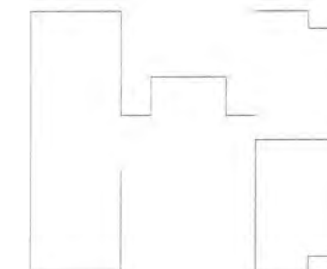
DIMENSIONS ARE FROM FACE OF FINISH / EXISTING WALLS  
TO FACE OF STUD / NEW WALLS

**INTERIOR ELEVATIONS NOTE**

SEE SHEET A-7.0 TYPICAL SUITE FLOOR PLAN  
FOR REFERENCING TYPICAL SUITE INTERIOR ELEVATIONS



**1 SECOND FLOOR PLAN - SOUTHEAST**  
Scale: 1/4" = 1'-0"



**SECOND FLOOR PLAN  
SOUTHEAST**

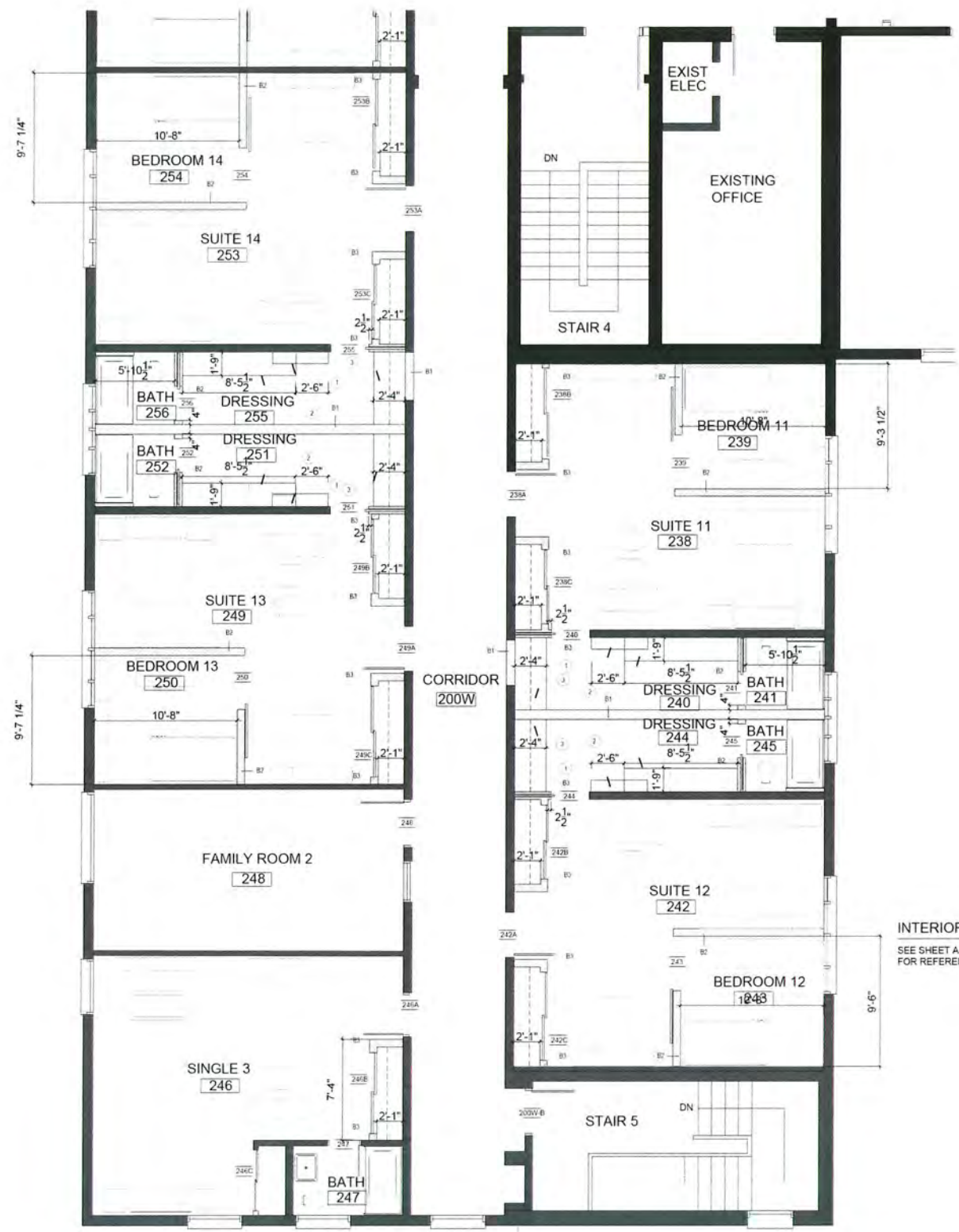
Drawing Scale:  
1/4" = 1' - 0"

Project Number:  
2201  
Issue Date:  
October 12, 2022

**A-5.7**



Issues / Revisions	
Issue Date	Description

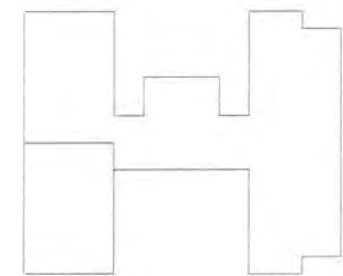


- KEYNOTE LEGEND**
- 1 UPPER PLASTIC LAMINATE CABINETS
  - 2 LOWER PLASTIC LAMINATE CABINETS
  - 3 BUILT-IN FLOOR TO CEILING SHELVING

- WALL TYPES**
- EXISTING WALL
  - 1-HR MET STUD WALL  
SEE SHEET A-9.1
  - NON-RATED MET STUD WALL  
SEE SHEET A-9.1

**NOTE**  
DIMENSIONS ARE FROM FACE OF FINISH / EXISTING WALLS  
TO FACE OF STUD / NEW WALLS

**INTERIOR ELEVATIONS NOTE**  
SEE SHEET A-7.0 TYPICAL SUITE FLOOR PLAN  
FOR REFERENCING TYPICAL SUITE INTERIOR ELEVATIONS



**1 SECOND FLOOR PLAN - SOUTHWEST**  
Scale: 1/4" = 1'-0"

	Drawing Title
<b>SECOND FLOOR PLAN SOUTHWEST</b>	
	Drawing Scale
	1/4" = 1'-0"
	Project Number
	2201
	Issue Date
	October 12, 2022
	<b>A-5.8</b>
	Plot Date

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ROSEMEAD, CA 91170

CONSTRUCTION DOCUMENTS



Issues / Revisions	
Issue Date	Description

KEYNOTE LEGEND

- 1 UPPER PLASTIC LAMINATE CABINETS
- 2 LOWER PLASTIC LAMINATE CABINETS
- 3 BUILT-IN FLOOR TO CEILING SHELVING

WALL TYPES

- EXISTING WALL
- 1-HR MET STUD WALL  
SEE SHEET A-9.1
- NON-RATED MET STUD WALL  
SEE SHEET A-9.1

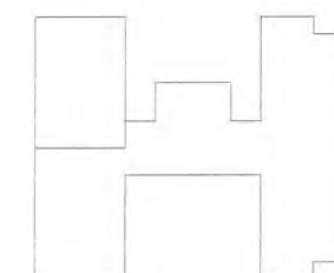
NOTE

DIMENSIONS ARE FROM FACE OF FINISH / EXISTING WALLS  
TO FACE OF STUD / NEW WALLS

INTERIOR ELEVATIONS NOTE  
SEE SHEET A-7.0 TYPICAL SUITE FLOOR PLAN  
FOR REFERENCING TYPICAL SUITE INTERIOR ELEVATIONS



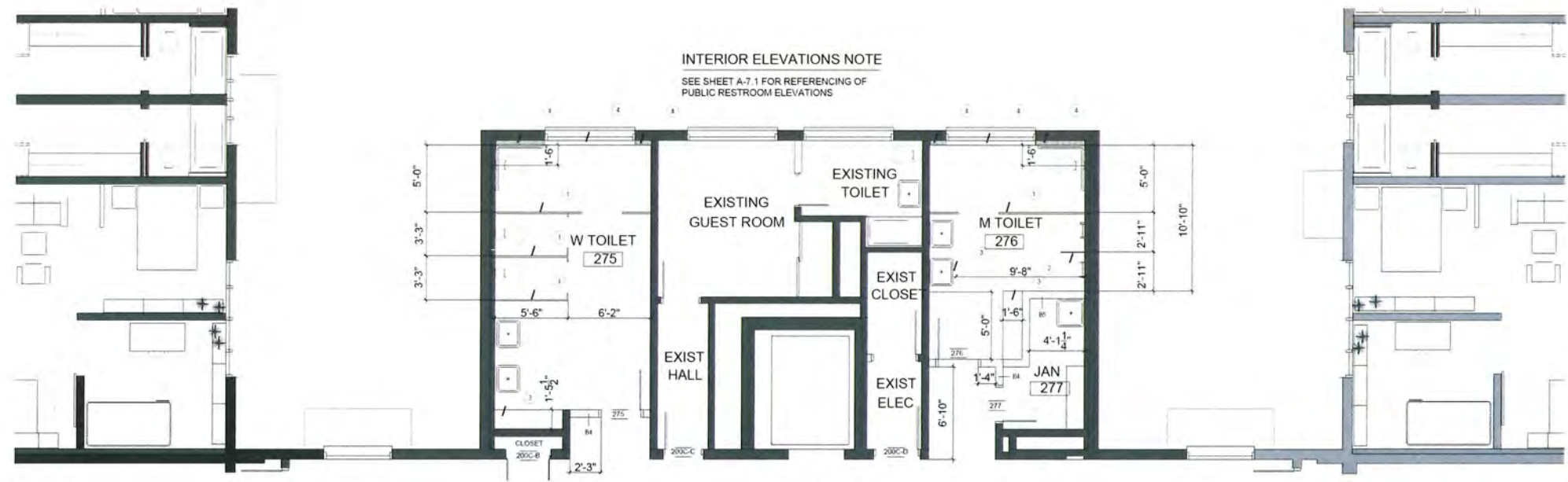
1 SECOND FLOOR PLAN - NORTHWEST  
Scale: 1/4" = 1'-0"



	Drawing Title
	SECOND FLOOR PLAN NORTHWEST
	Drawing Scale 1/4" = 1'-0"
	Project Number 2201
	Issue Date October 12, 2022
	<b>A-5.9</b>

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INTERIOR IMPROVEMENTS  
7600 GRAVES AVENUE  
ROSEMEAD, CA 91170  
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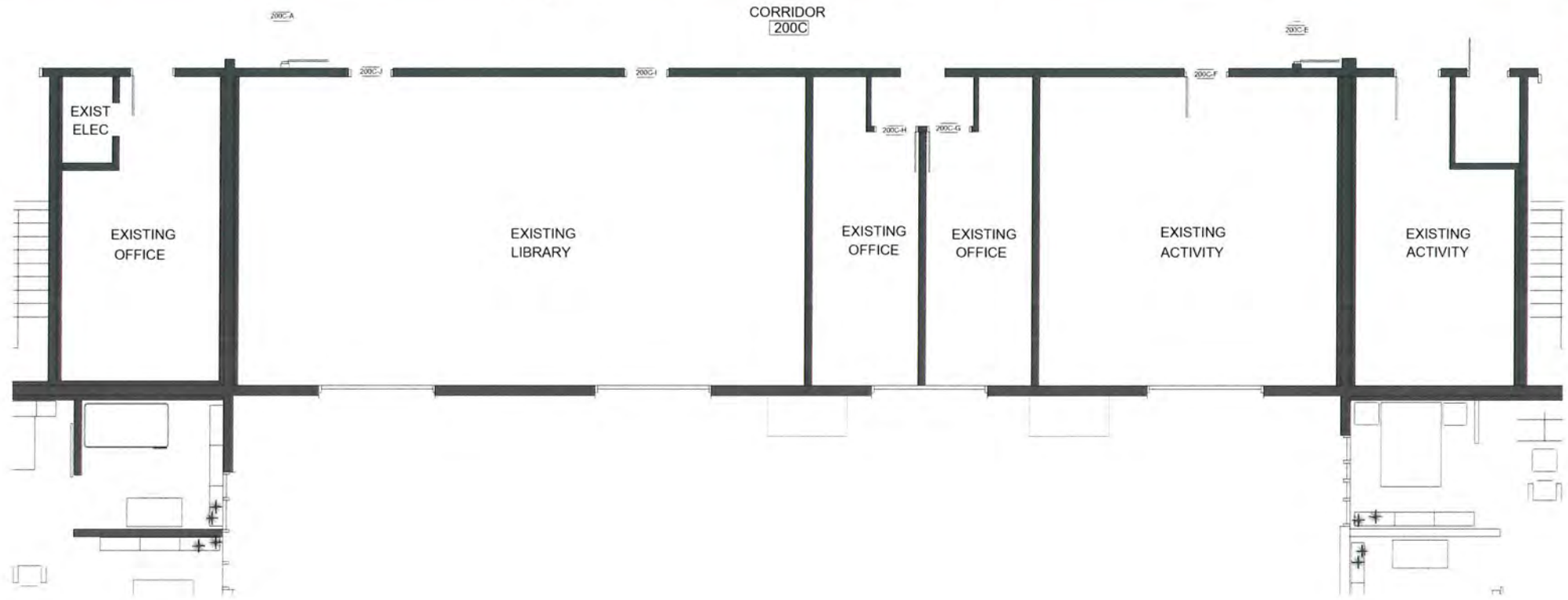
INTERIOR ELEVATIONS NOTE  
SEE SHEET A-7.1 FOR REFERENCING OF  
PUBLIC RESTROOM ELEVATIONS

- KEYNOTE LEGEND
- 1 COMPACT LAMINATE TOILET COMPARTMENT  
PER BOBRICK DURALINE SPECIFICATION  
50" DOOR HT. 12" FLR CLEARANCE  
FLOOR-TO-CEILING STANDARD  
COLOR: 1595-60 BLACK
  - 2 COMPACT LAMINATE URINAL SCREEN  
PER BOBRICK DURALINE SPECIFICATION  
42" HEIGHT WITH 12" FLOOR CLEARANCE  
COLOR: 1595-60 BLACK
  - 3 PORCELAIN COUNTERTOP  
STONE SOURCE LAMINAM 12x12 SLAB  
'TINTA BIANCO ASSOLUTO'
  - 4 4" MET STUD WALL FURRING  
W/ 5/8" GYP BD ONE SIDE, PTD

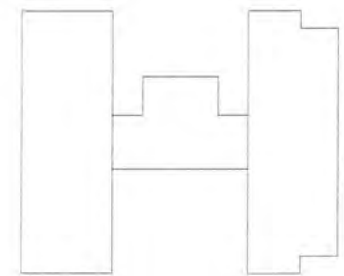
- WALL TYPES
- EXISTING WALL
  - 1-HR MET STUD WALL  
SEE SHEET A-9.1
  - NON-RATED MET STUD WALL  
SEE SHEET A-9.1
  - 4" MET STUD FURRED WALL W/  
5/8" GYP BD ONE SIDE

NOTE  
DIMENSIONS ARE FROM FACE OF FINISH / EXIST WALLS  
TO FACE OF STUD / NEW WALLS

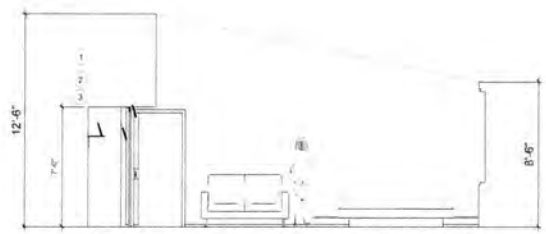
Issues / Revisions	
Issue Date	Description



1 SECOND FLOOR PLAN - CENTRAL  
Scale: 1/4" = 1'-0"



Drawing Title	
SECOND FLOOR PLAN CENTRAL	
Drawing Scale 1/4" = 1'-0"	
Project Number 2201	
Issue Date October 12, 2022	
A-5.10	
Plot Date	



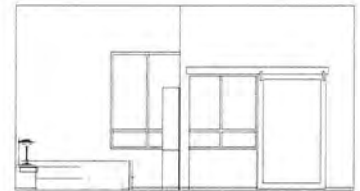
**1 MOTHER'S BED RIGHT / SEATING AREA LEFT**  
Scale: 1/4" = 1'-0"



**6 EXTERIOR WALL, MOTHER'S BED LEFT / CHILDREN'S DESK RIGHT**  
Scale: 1/4" = 1'-0"



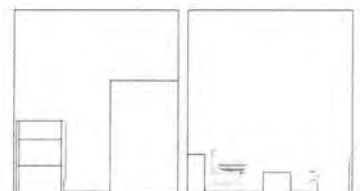
**2 CHILDREN'S DESK RIGHT / SEATING AREA LEFT BEYOND**  
Scale: 1/4" = 1'-0"



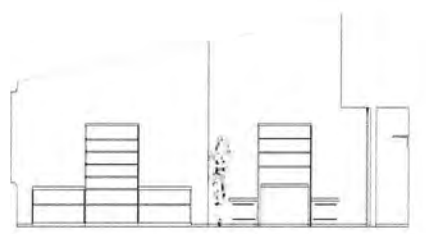
**7 CHILDREN'S BEDROOM ENTRY RIGHT / MOTHER'S BED LEFT**  
Scale: 1/4" = 1'-0"



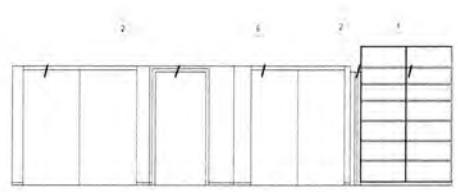
**3 WORK NOOK RIGHT / CHILDREN'S BUNK BED LEFT**  
Scale: 1/4" = 1'-0"



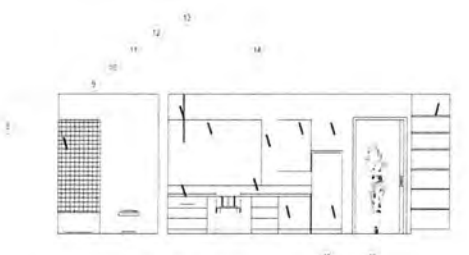
**8 SEATING AREA BEYOND RIGHT / CHILDREN'S BEDROOM LEFT**  
Scale: 1/4" = 1'-0"



**4 WORK NOOK RIGHT BEYOND / MOTHER SHELVES LEFT**  
Scale: 1/4" = 1'-0"



**9 CORRIDOR WALL / ENTRYWAY & STORAGE**  
Scale: 1/4" = 1'-0"



**5 BATHROOM FIXTURE WALL**  
Scale: 1/4" = 1'-0"



**KEYNOTE LEGEND**

- 1 POCKET DOOR TO SERVICE AREA  
PTD TO MATCH WALL COLOR, SEMI-GLOSS
- 2 SLIDING CLOSET DOOR, WOOD\*
- 3 CLOSET SHELF, BRACKET, AND ROD, PTD
- 4 SLIDING BARN DOOR TRACK\*
- 5 WOOD BASE, PAINTED TO MATCH WALL, SEMI-GLOSS
- 6 ENTRY DOOR, WOOD\*
- 7 OPEN SHELVING, WOOD, PAINTED  
(SEE FINISH SCHEDULE)
- 8 CERAMIC TILE BATHTUB WAINSCOT  
(SEE FINISH SCHEDULE)
- 9 OVERSIZED VANITY BASIN
- 10 PENDANT GLOBE LIGHT
- 11 MIRROR
- 12 COUNTERTOP AND BACKSPLASH  
STONE SOURCE  
"TINTA BIANCO ASSOLUTO"
- 13 WALL-MOUNTED GLOBE LIGHT
- 14 WALL-MOUNTED CABINETS  
NEVAMAR "SPA WHITE"
- 15 LOWER CABINETRY  
NEVAMAR "SPA WHITE"
- 16 REFRIGERATOR UNIT (BY OWNER)
- 17 TOWEL RACKS  
KOHLER "ELATE" 12" CHROME

\*FOR WOOD DOOR FINISH, SEE DOOR SCHEDULE



**GOODALE  
ARCHITECTURE  
PLANNING**

773 S Marengo Avenue  
Unit 2  
Pasadena, CA 91006  
626 379-8758

**MARYVALE**

LABOURE HALL

**INTERIOR IMPROVEMENTS**

7600 GRAVES AVENUE  
ROSEMEAD, CA 91170

**CONSTRUCTION DOCUMENTS**



Issues / Revisions	
Issue Date	Description

Drawing Title

**INTERIOR ELEVATIONS**

Drawing Scale  
1/4" = 1' - 0"

Project Number  
2201  
Issue Date  
October 12, 2022

**A-6.0**

FILED

MARYVALE

LABOURE HALL  
INTERIOR IMPROVEMENTS

7600 GRAVES AVENUE  
ROSEMEAD, CA 91170

CONSTRUCTION DOCUMENTS



Issues / Revisions

Issue Date	Description

Drawing Title

INTERIOR ELEVATIONS  
SECOND FLOOR  
PUBLIC RESTROOMS  
& TYPICAL KITCHEN

Drawing Scale  
1/4" = 1' - 0"

Project Number

2201

Issue Date

October 12, 2022

**A-6.1**

Prof Date

KEYNOTE LEGEND

- 1 PORCELAIN COUNTERTOP
- 2 RANGE AND OVEN
- 3 PLASTIC LAMINATE FASCIA FINISH
- 4 LOCKABLE VERTICAL CABINETS
- 5 DOUBLE SINK WITH DISPOSAL
- 6 UNDERCOUNTER DISHWASHER
- 7 STAINLESS STEEL RANGE HOOD (Z-LINE CONVERTIBLE VENT, KE-2-36")
- 8 WINDOW BEYOND (LOCATION VARIES)  
RETURN PORCELAIN COUNTERTOP DOWN THE WINDOW  
OPENING JAMBS (2 SIDES). PROVIDE PORCELAIN SILL AT  
WINDOW. AND CLOSE GAP BETWEEN WINDOW SILL AND  
COUNTERTOP WITH PORCELAIN FILLER
- 9 PLASTIC LAMINATE UPPER & LOWER CABINETS
- 10 PORCELAIN SLAB WAINSCOT TO MATCH COUNTERTOP
- 11 FLOOR SINK  
PROVIDE MOP AND BROOM HOLDER BOBRICK B-223
- 12 GRAB BARS  
36" LONG ON WALL BEHIND TOILET  
42" LONG ON PARTITION BESIDE TOILET
- 13 RECESSED TOILET PAPER AND SEAT COVER DISPENSER  
& WASTE RECEPTACLE - BOBRICK B-3091
- 14 COMBINATION TOILET PAPER/SEAT COVER DISPENSER  
BOBRICK B-3479
- 15 SANITARY NAPKIN DISPOSAL  
BOBRICK B-254
- 16 PAPER TOWEL DISPENSER / TRASH DISPOSAL  
BOBRICK B-3942
- 17 TOILET PARTITION (SEE A-5.10 FOR MATERIAL/FINISH)
- 18 URINAL PARTITION (SEE A-5.10 FOR MATERIAL/FINISH)
- 19 WALL-MOUNTED SINK WITH SKIRT OVER PIPES  
TRUEBRO LAV-GUARD
- 20 MIRROR  
BOBRICK 290 - 2436
- 21 SOAP DISPENSER  
BOBRICK B-858
- 22 3 X 6 CERAMIC SUBWAY TILE (SEE FINISH SCHEDULE, A-5.12)
- 23 PORCELAIN SLAB COUNTER TOP  
W/ 2" RETURN (SEE A-5.10 FOR MATERIAL/FINISH)

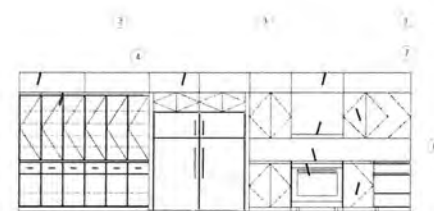
NOTE

SEE SHEETS A-5.1 THROUGH A-5.4, KITCHEN FLOOR PLANS FOR  
FOR FINISHES AND APPLIANCE SPECIFICATIONS

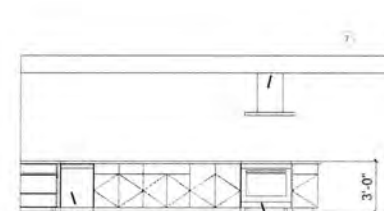
SEE SHEET A-5.10 FOR ADDITIONAL TOILET ROOM  
FINISHES AND SPECIFICATIONS



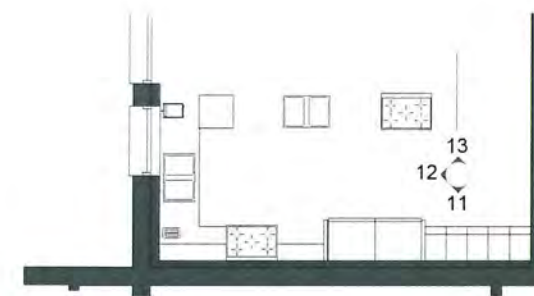
11 KITCHEN EXTERIOR WALL  
Scale: 1/4" = 1'-0"



12 KITCHEN INNER WALL  
Scale: 1/4" = 1'-0"



13 KITCHEN ISLAND  
Scale: 1/4" = 1'-0"



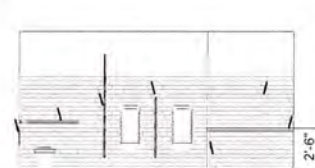
9 JANITOR EAST  
Scale: 1/4" = 1'-0"



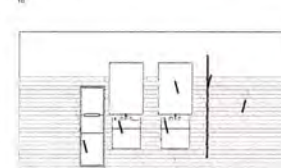
10 JANITOR NORTH  
Scale: 1/4" = 1'-0"



5 MEN'S TOILET NORTH  
Scale: 1/4" = 1'-0"



6 MEN'S TOILET EAST  
Scale: 1/4" = 1'-0"



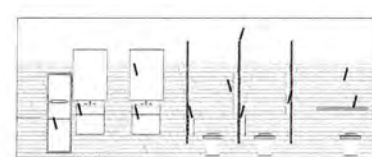
7 MEN'S TOILET WEST  
Scale: 1/4" = 1'-0"



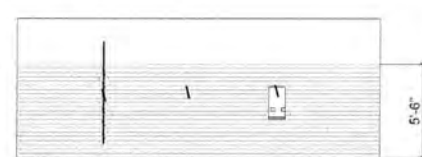
8 MEN'S TOILET SOUTH  
Scale: 1/4" = 1'-0"



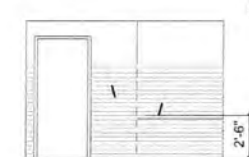
1 WOMEN'S TOILET NORTH  
Scale: 1/4" = 1'-0"



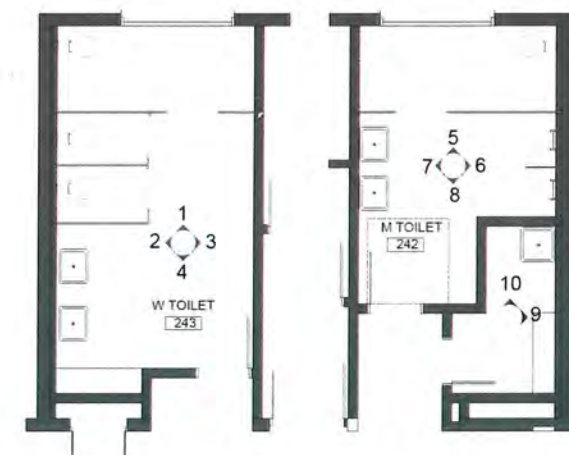
2 WOMEN'S TOILET WEST  
Scale: 1/4" = 1'-0"



3 WOMEN'S TOILET EAST  
Scale: 1/4" = 1'-0"

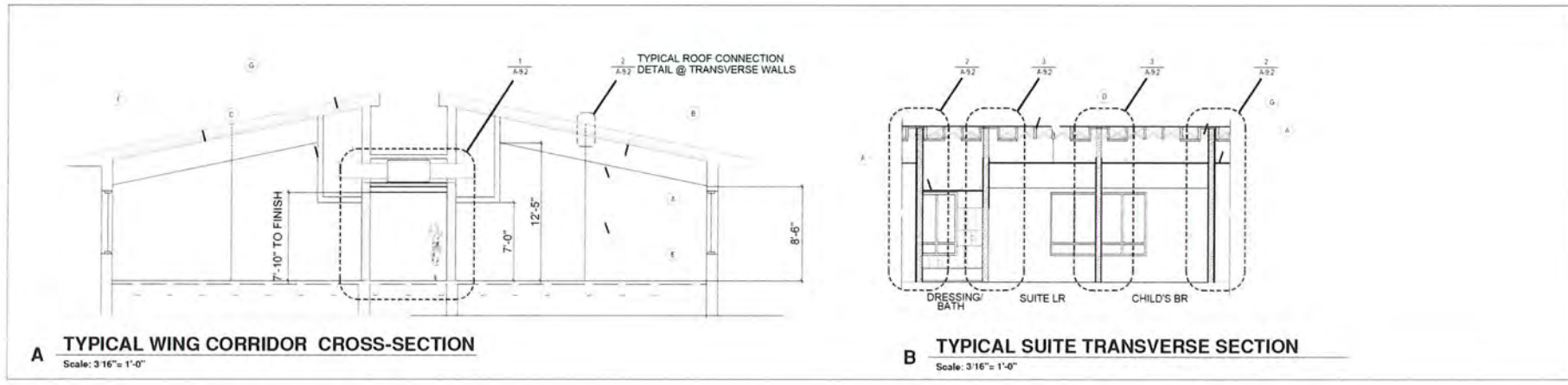


4 WOMEN'S TOILET SOUTH  
Scale: 1/4" = 1'-0"



2ND FLOOR PUBLIC RESTROOMS REFERENCE PLAN





- KEYNOTE LEGEND**
- A GYP BD CLG. PTD. O' WIRE-HUNG ASSEMBLY SEE DETAILS XXX/A-9.2
  - B NEW DUCT RUN TO CHILDREN'S BEDROOM, TYP
  - C EXISTING SOFFIT, APPLY NEW GYP BD, PTD, ON FACE OF FASCIA WHERE HIGHER CEILING REQUIRES
  - D EXISTING SHEATHING ON 2 X 14 ROOF JOISTS W/ 2 X 3 WD BRIDGING
  - E CHILD'S BEDROOM WALL BEYOND
  - F REMOVE PLASTER AT ALL NEW (NON-SINGLE) SUITES, TYPICAL IN ORDER TO SECURE NEW FULL HT STUD WALLS AND NEW GYP BD SUSPENSION SYSTEM
  - G NEW R-19 FIBERGLAS BATT ROOF INSULATION

**GOODALE**  
**ARCHITECTURE**  
**PLANNING**

773 S Marengo Ave  
 Unit 2  
 Pasadena, CA 91106  
 626 379-8758

**MARYVALE**

LABOURE HALL  
 INTERIOR IMPROVEMENTS

7600 GRAVES AVENUE  
 ROSEMEAD, CA 91170

CONSTRUCTION DOCUMENTS



Issues / Revisions	
Issue Date	Description

- KEYNOTE LEGEND**
- 1 HARDWOOD VENEER DOOR
  - 2 WOOD TRIM (SEE DETAIL 4/A-5.12)
  - 3 PLASTIC LAMINATE WALL FINISH PIONITE "STARGAZING"
  - 4 EGGHELL PAINT FINISH
  - 5 6" RUBBER BASE



Drawing Title  
**2ND FLOOR TYPICAL**  
**INTERIOR SECTIONS**  
**INTERIOR ELEVATIONS**

Drawing Scale  
**3/16" = 1'-0"**

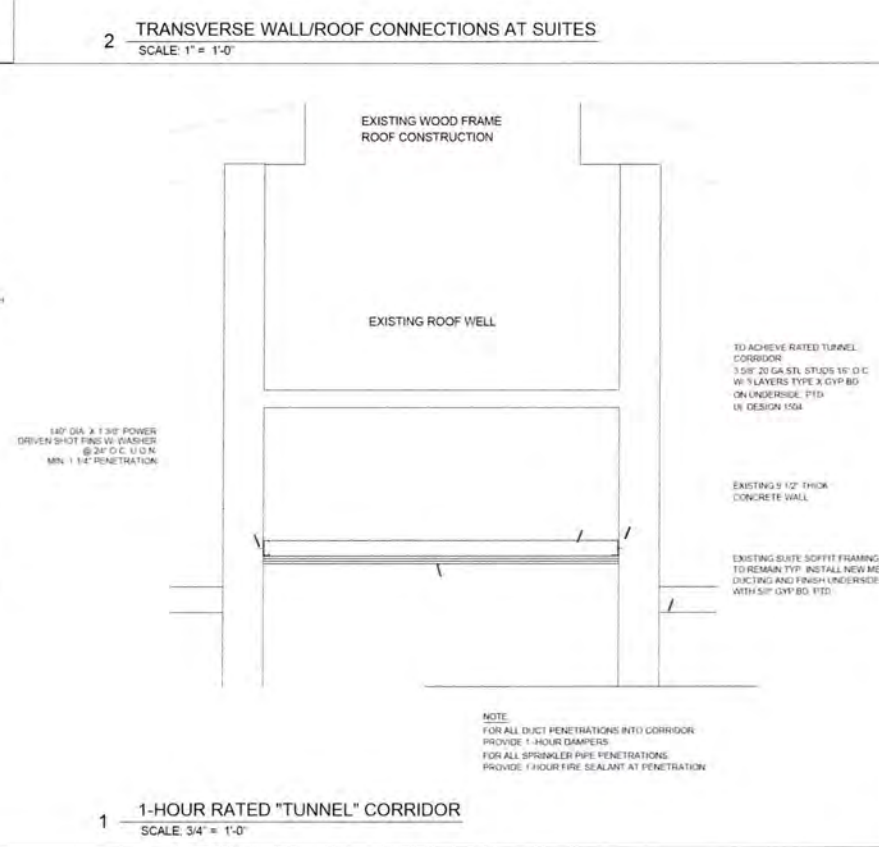
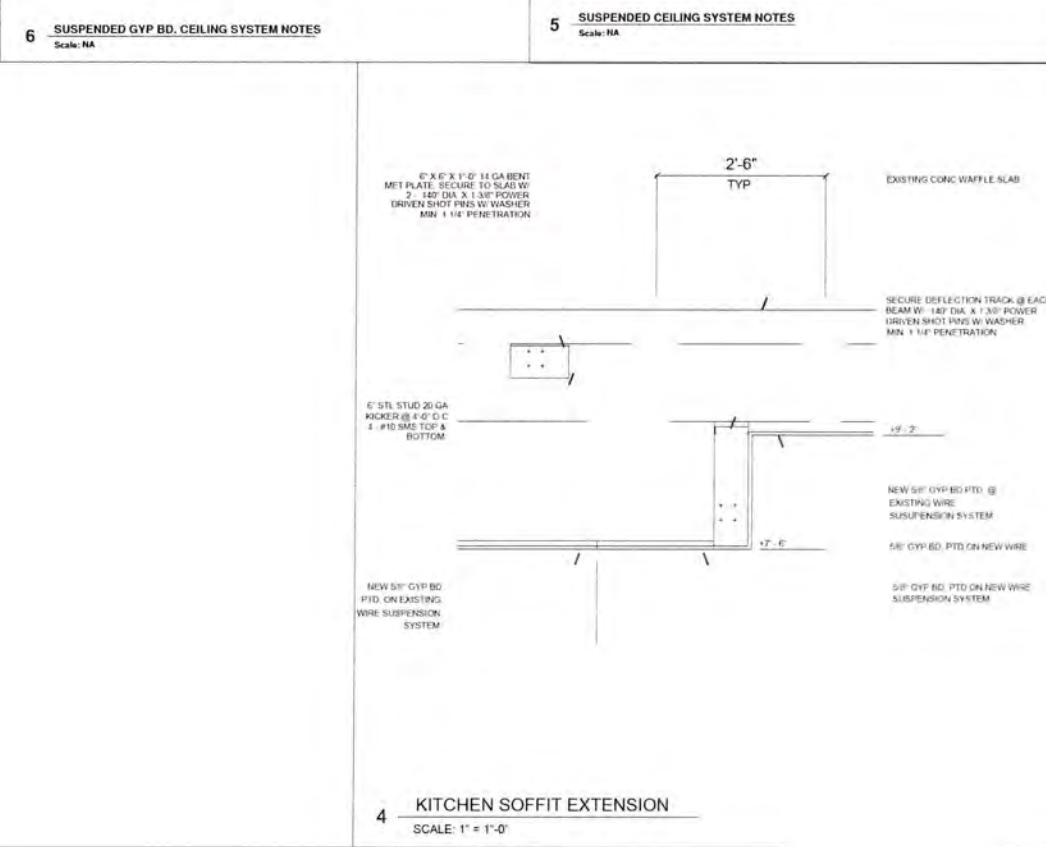
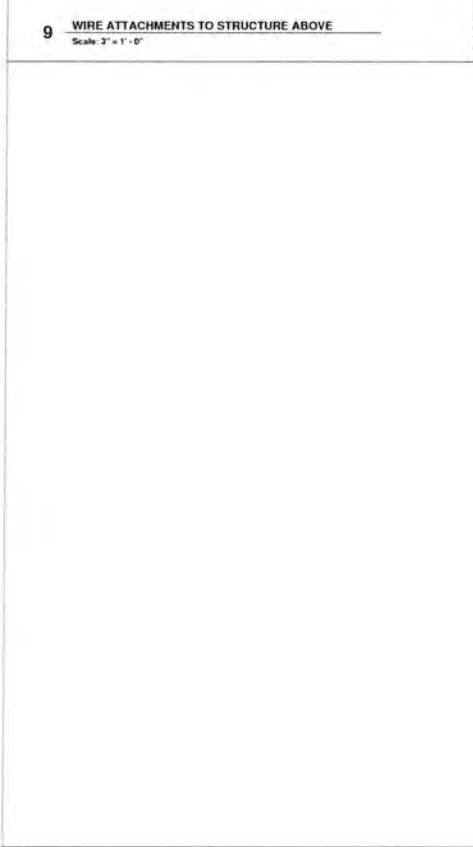
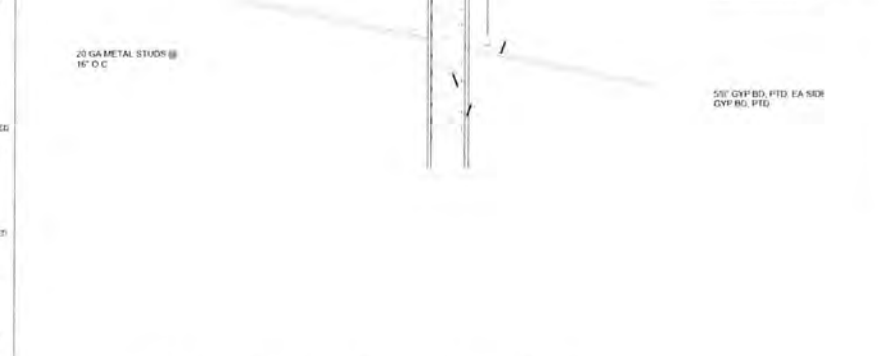
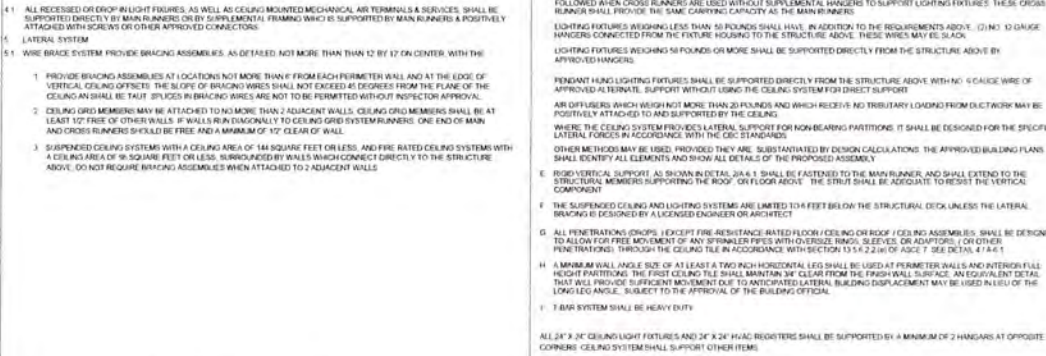
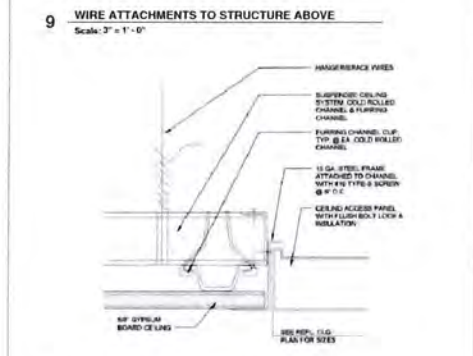
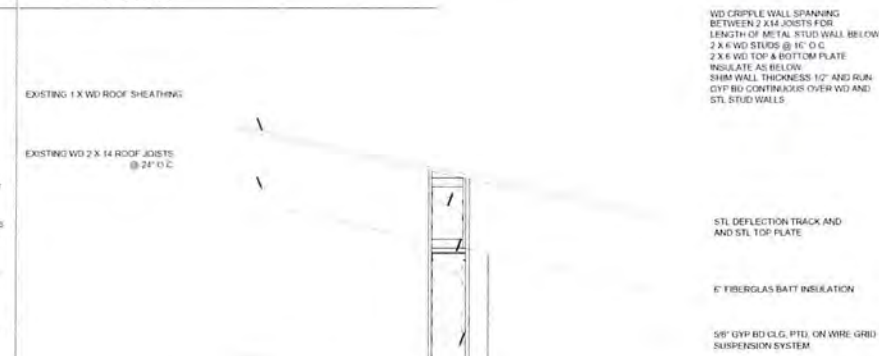
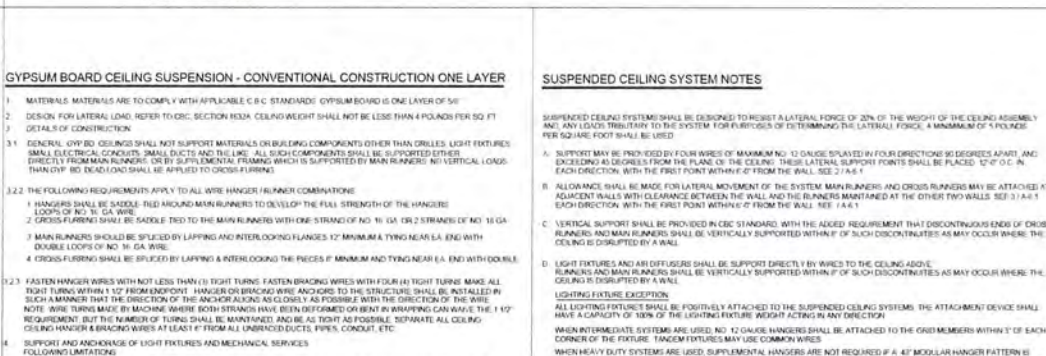
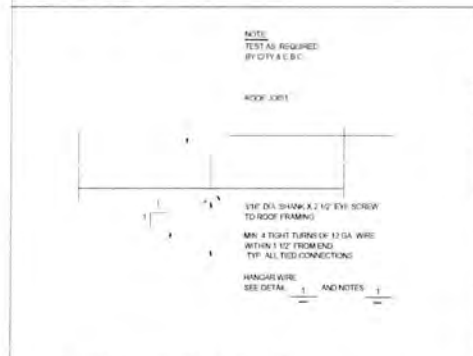
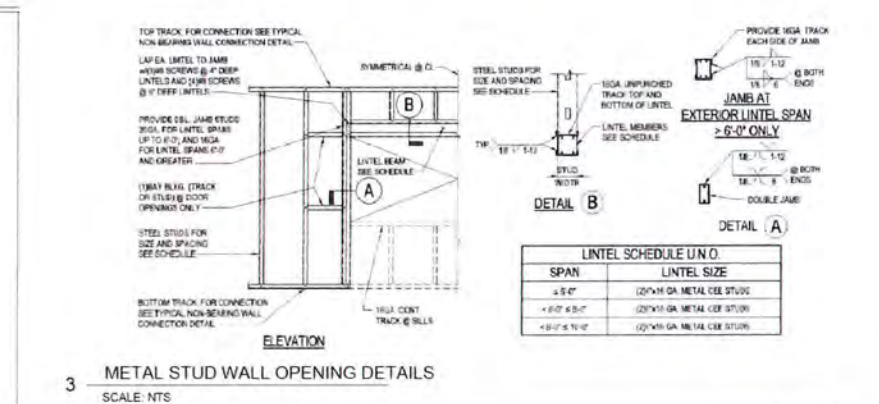
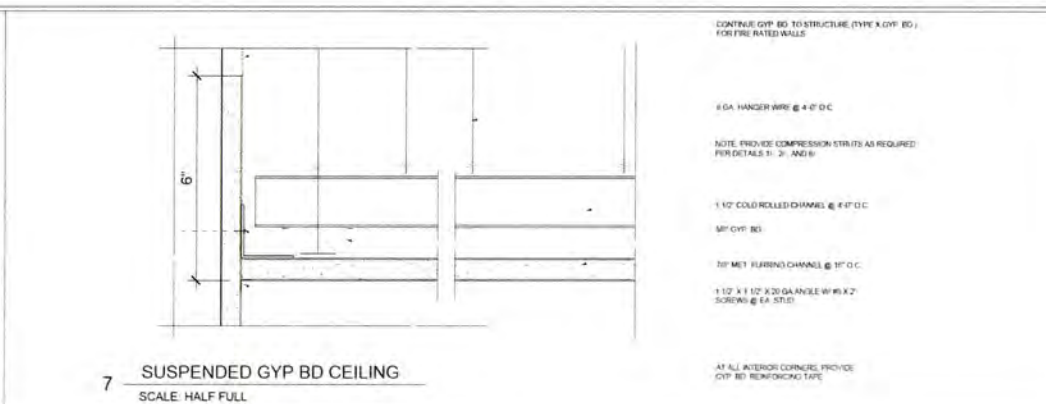
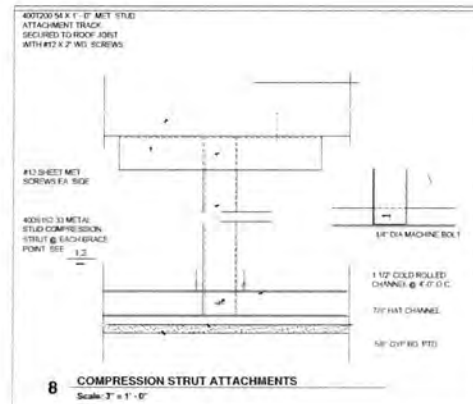
Project Number  
 2201  
 Issue Date  
**October 12, 2022**

**A-6.2**

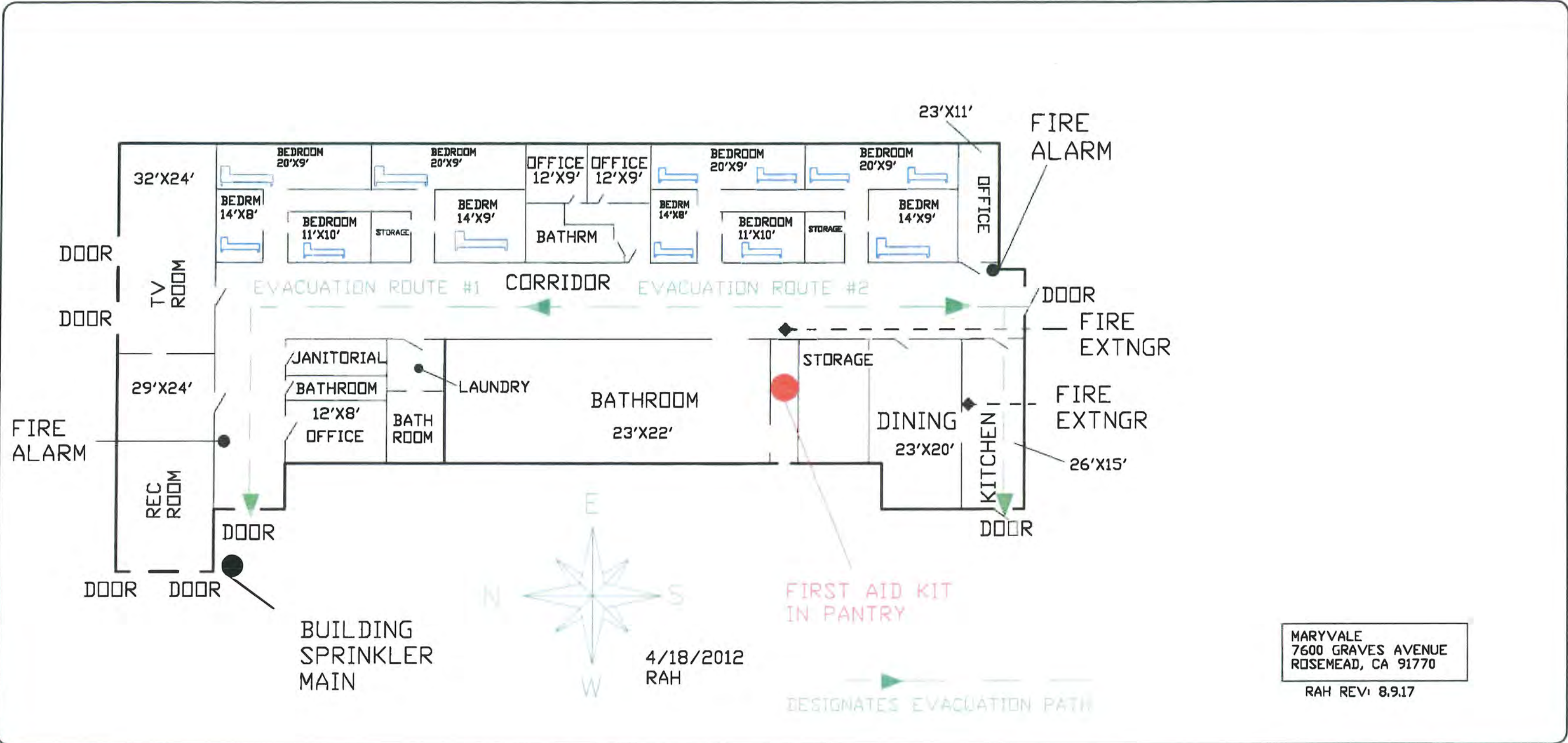
Prof Date



Issue / Revision	Issue Date	Description



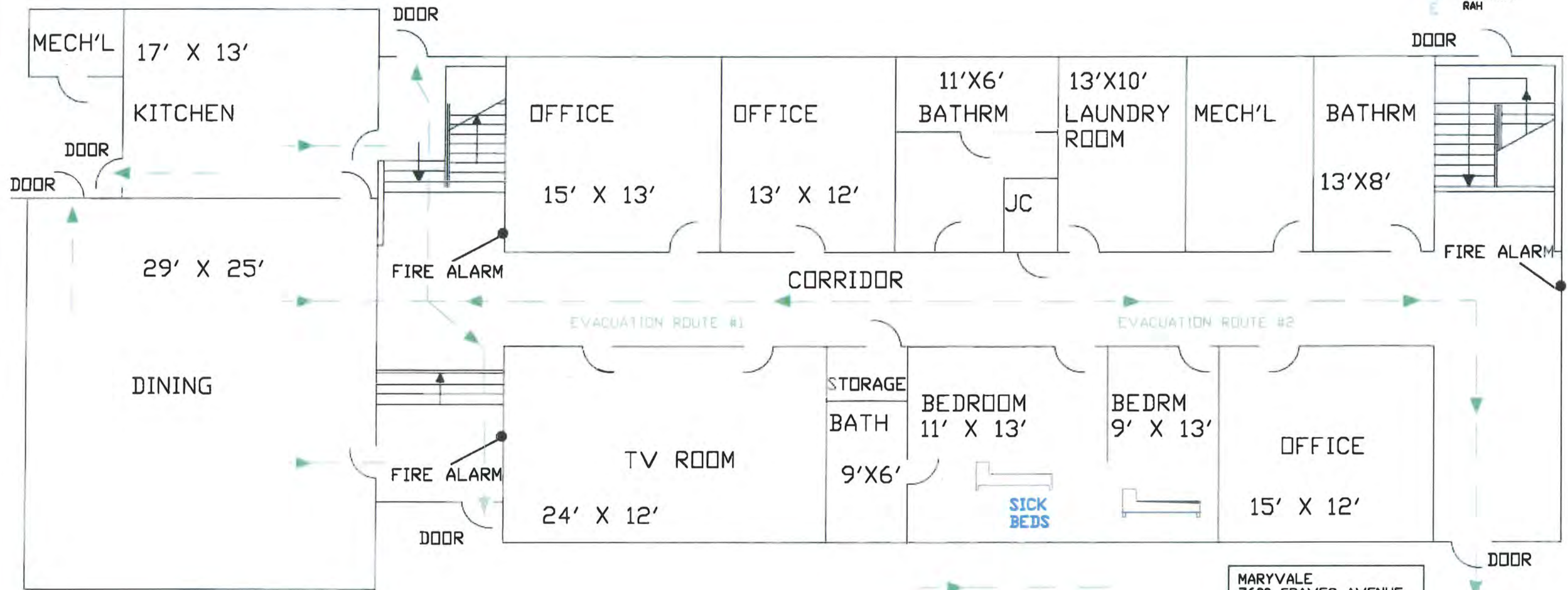
# HOPE HOUSING FOR STUDENTS - Max Occupancy: 41



MARYVALE  
 7600 GRAVES AVENUE  
 ROSEMEAD, CA 91770  
 RAH REV: 8.9.17

SETON HOUSE - Max Occupancy: 52

# SETON HOUSE FIRST FLOOR

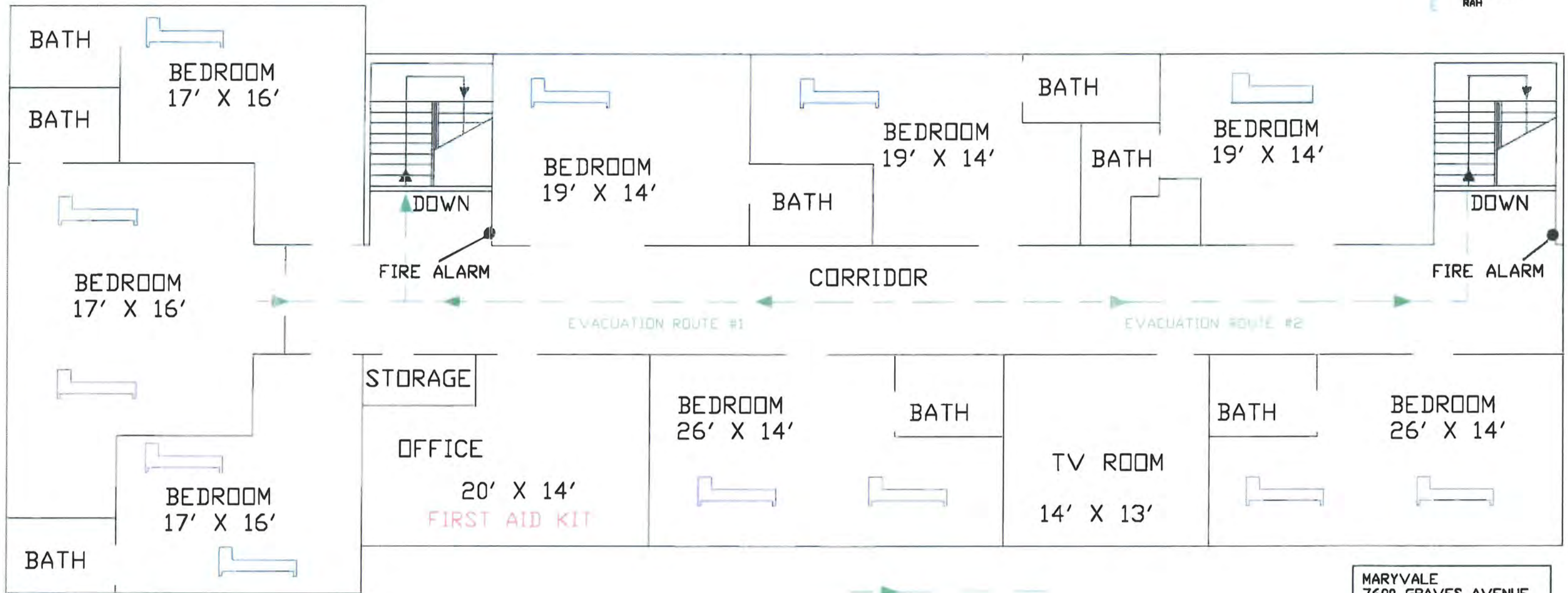


DESIGNATES EVACUATION PATH

MARYVALE  
7600 GRAVES AVENUE  
ROSEMEAD, CA 91770  
RAH REV: 8.9.17

# SETON HOUSE

## SETON HOUSE SECOND FLOOR



DESIGNATES EVACUATION PATH

MARYVALE  
7600 GRAVES AVENUE  
ROSEMEAD, CA 91770

RAH REV: 8.9.17